

A.C.	AIR CONDITIONING	LAM.	LAMINATE
ACOUS.	ACOUSTICAL	LAV.	LAVATORY
ADJ.	ADJUSTABLE	MAT.	MATERIAL
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINIUM	M.B.	MACHINE BOLT
ANOD.	ANODIZED	M.C.	MEDICINE CABINET
BD.	BOARD	(M)	MODIFIED
BLDG.	BUILDING	MIN.	MINIMUM
BLKG.	BLOCKING	MIR.	MIRROR
BOT.	BOTTOM	MISC.	MISCELLANEOUS
BM.	BEAM	MTL.	METAL
CAB.	CABINET	MTD.	MOUNTED
CEM.	CEMENT	(N)	NEW
CER.	CERAMIC	N.I.C.	NOT IN CONTRACT
C.G.	CORNER GUARD	NO.	NUMBER
C.I.L.	CENTER LINE	NTE	NOT TO EXCEED
CLG.	CEILING	N.T.S.	NOT TO SCALE
CLR.	CLEARANCE	O.C.	ON CENTER
CMU.	CONCRETE MASONRY UNIT	O.D.	OUTSIDE DIAMETER
COL.	COLUMN	O.H.	OVER HEAD
CONC.	CONCRETE	PL.	PLATE
CONST.	CONSTRUCTION	PLAM.	PLASTIC LAMINATE
CONTR.	CONTRACTOR	PLYWD.	PLYWOOD
C.T.	CERAMIC TILE	PSI	POUNDS/SQ. INCH
CTSK.	COUNTERSINK	PT	PRESSURE TREATED
CTR.	CENTER	Q.T.	QUARRY TILE
DA	DISABLED ACCESSIBLE	R	RISER
DBL.	DOUBLE	(R)	REPLACE
D.F.	DOUGLAS FIR	REINF.	REINFORCING
DET.	DIAGONAL	REQD.	REQUIRED
DIAG.	DIAGONAL	REV.	REVISED
DIA.	DIAMETER	RM.	ROOM
DIM.	DIMENSION	RO.	ROUGH OPENING
DN.	DOWN	RWL	RAIN WATER LEADER
DR.	DOOR	SAD	SUPPLY AIR DUCT
DWG.	DRAWING	SCHED.	SCHEDULE
D.S.	DOWNSPOUT	SEC.	SECTION
(E)	EXISTING	SHT.	SHEET
EA.	EACH	S&P	SHELF AND POLE
ELEC.	ELECTRICAL	SL	SKYLIGHT
E.P.	ELECTRICAL PANEL	SM.	SIMILAR
ELEV.	BUILDING ELEVATION	SPEC.	SPECIFICATION
EQ.	EQUAL	SQ.	SQUARE
EXP.	EXPOSED	S.S.	STAINLESS STEEL
EXT.	EXTERIOR	S.S.D.	SEE STRUCT. DRAWINGS
F.FLR.	FINISH FLOOR	S.M.D.	SEE MECH. DRAWINGS
FLASH.	FLASHING	STD.	STANDARD
F.O.F.	FACE OF FINISH	STL.	STEEL
F.O.S.	FACE OF STUD	STOR.	STORAGE
FR.C.	FRENCH CASEMENT	STRUCT.	STRUCTURAL
FTG.	FOOTING	SUSP.	SUSPENDED
FX.	FIXED	T.B.	TOWEL BAR
GA.	GAUGE	T.O.S.	TOP OF SLAB
GALV.	GALVANIZED	TGL.	TEMPERED GLASS
GL.	GLASS	T&G	TONGUE AND GROOVE
GR.	GRADE	TP.	TYPICAL
GWB.	GYPSUM WALL BOARD	U.B.C.	UNIFORM BUILDING CODE
GYP.	GYPSUM	U.O.N.	UNLESS OTHERWISE NOTED
H.A.R.	HOT AIR REGISTER	V.G.	VERTICAL GRAIN
HDR.	HEADER	VERT.	VERTICAL
HGR.	HANGER	V.I.F.	VERIFY IN FIELD
HDWD.	HARDWOOD	W/	WITH
HORZ.	HORIZONTAL	WC	WATER CLOSET
HT.	HEIGHT	WD.	WOOD
HVAC.	HEATING, VENTILATING	W.P.	WATERPROOF
INT.	INTERIOR		
INST.	INSTALLATION		
INSUL.	INSULATION		

ABBREVIATIONS

WASTE MANAGEMENT PROGRAM:

CONTRACTOR TO HAVE IN PLACE AT THE BEGINNING OF THE PROJECT A WASTE MANAGEMENT PROGRAM WITH COMPLIANCE FORMS AND SHEETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING THE CONSTRUCTION WASTE MANAGEMENT WORKSHEETS NECESSARY TO DOCUMENTING COMPLIANCE WITH THE WASTE MANAGEMENT PLAN. RECYCLE ANY/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS IN ACCORDANCE WITH REGULATIONS OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. THE CONTRACTOR IS RESPONSIBLE WITH PROVIDING TO THE CITY OF SAN DIEGO THE ABOVE COMPLIANCE FORMS AND IDENTIFY THE RECYCLING & WASTE HAULING COMPANY.

HAZARDOUS MATERIALS IN EXISTING CONSTRUCTION

BASIS ARCHITECTURE & CONSULTING ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO HAZARDOUS MATERIALS. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS. AN ABATEMENT PLAN FOR ASBESTOS CONTAINING MATERIALS IS TO BE PROVIDED BY THE OWNER.

GENERAL NOTES

FOR GENERAL NOTES SEE SHEET A0.2

NOTES

GOLDEN APARTMENTS RENOVATION & REMODEL 2312 N. GOLDEN AVE., SAN BERNARDINO, CA 92404

PROPOSED WORK INCLUDES:

- CONVERSION OF EXISTING 19 TOWNHOUSES INTO 38 FLATS (TWO OF THE CONVERTED GROUND LEVEL FLAT UNITS TO BE DISABLED ACCESSIBLE).
- ALL NEW UNITS ARE FOR PERMANENT SUPPORTIVE HOUSING.
- FIRE SPRINKLER SYSTEM, ADD TO EACH BUILDING.
- SITE IMPROVEMENTS: REMOVE AND REPLACE EXISTING ASPHALT PAVING.
- SITE ACCESS IMPROVEMENTS: PROVIDE CONFORMING PATH OF TRAVEL FROM DISABLED PARKING AND FROM STREET, TO GROUND LEVEL UNITS AND COMMON AREAS.
- LAUNDRY ROOM BUILDING 2 (2324 NORTH GOLDEN): EXISTING LAUNDRY ROOM TO BE REMODELED FOR ACCESSIBILITY WITH 3 SETS OF CLOTHES WASHERS AND DRYERS, WITH ONE SET MEETING ACCESSIBILITY REQUIREMENTS.
- BUILDING EXTERIORS: REPLACE ROOFING, REPAIR ROOF DRAINAGE, STUCCO AND EXTERIOR WOOD DRY ROT REPAIRS.
- ELECTRICAL TO BE UPGRADED IN EACH UNIT.
- PROVIDE (N) CATV, EACH UNIT.

- 1 EXISTING TOWNHOUSE TO REMAIN UNCHANGED FOR MANAGERS UNIT.

- 1 EXISTING TOWNHOUSE TO BE CONVERTED FOR LOWER FLOOR LEASE AND COMMON AREA.

- (N) MEMBRANE ROOF WITH (N) CUTTERS AND DOWNSPOUTS AT TWO BUILDINGS.

ACCESSIBILITY NOTE:

PROJECT IS PUBLIC HOUSING PER CBC DEFINITION.

SECTION 504 APPLIES - 5% OF UNITS TO BE DISABLED ACCESSIBLE PER CBC IIB.233. TWO (2) DISABLED ACCESSIBLE UNITS TO BE PROVIDED (CONVERSION TO FLATS). THE OTHER SIXTEEN (16) GROUND LEVEL FLATS TO BE CBC IIB COMPLIANT, ADAPTABLE EXCEPT BATHROOM (INFEASIBLE).

ONE (1) NEW VAN ACCESSIBLE PARKING STALL TO BE PROVIDED PER CBC IIB.208.2

ONE (1) ACCESSIBLE STALL REQUIRED FOR 1 -25 TOTAL STALLS.

TWENTY-ONE (21) EXISTING PARKING SPACES, LESS THAN ONE (1) PER UNIT, ARE PROVIDED.

SCOPE OF WORK SUMMARY

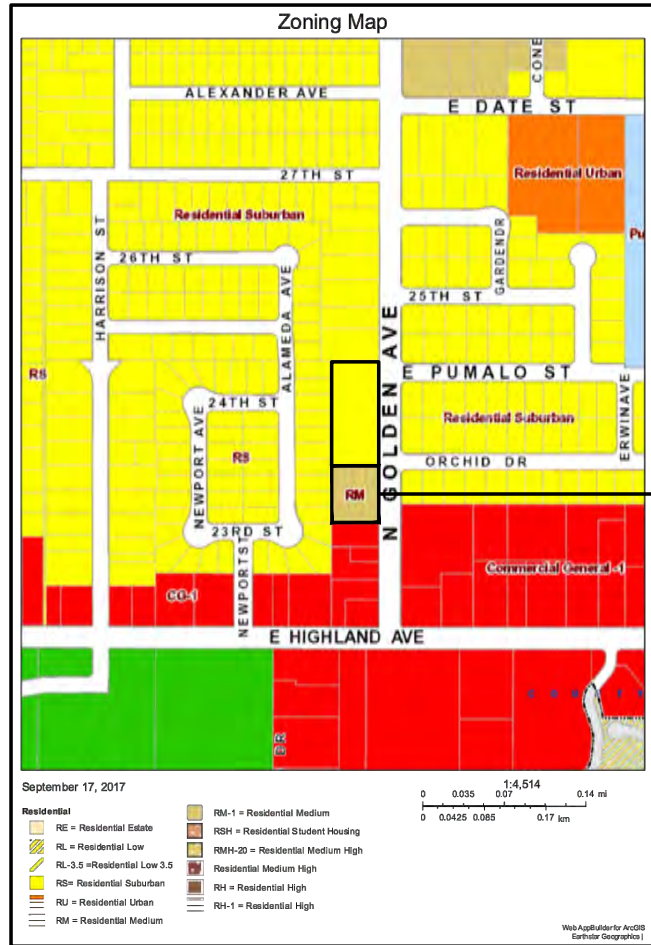


TYPICAL EXISTING BUILDING



TYPICAL EXISTING BUILDING FROM STREET

PHOTO - EXISTING CONDITIONS



ZONING MAP

EXISTING BUILDINGS:

(3) TWO-STORY TOWNHOUSE APARTMENT BUILDINGS WITH ONE-STORY LAUNDRY / STORAGE BUILDINGS ATTACHED.

CONSTRUCTION TYPE: V-A (NOTE: AUTOMATIC FIRE PROJECTION SPRINKLERS TO BE ADDED)

EXISTING UNITS:

21 EXISTING TOWNHOUSES (2BR/2 BA) = 1208 SQ. FT. EACH

PROPOSED UNITS:

CONVERT 19 TOWNHOUSES INTO 38 FLATS:

19 UPPER FLOOR (1BR/1 BA) = +- 708 SQ. FT. (TYPE B)

17 LOWER FLOOR (1BR/1 BA) = +- 500 SQ. FT. (TYPE A)

2 LOWER LEVEL (1BR/1BA) = +- 500 SQ. FT. DISABLED UNIT (TYPE C) - (2 OF 38, 5%)

CONVERT LOWER LEVELS OF 2 ADJACENT TOWNHOMES TO COMMON AREA SPACE = +- 1,200 S.F.
CONVERT UPPER LEVELS OF SAME 2 UNITS FOR MANAGERS UNIT ABOVE = +- 1,200 S.F.

EXISTING PARKING:

21 COVERED STALLS
TOTAL = 21 PARKING SPACES

PROPOSED PARKING:

21 COVERED STALLS (EXISTING NO CHANGE)
1 OPEN DISABLED VAN ACCESSIBLE SPACE TO BE ADDED
1 OPEN STALL TO BE ADDED
TOTAL = 23 PARKING SPACES

SITE AREA: NO CHANGE - 1.08 ACRES

EXISTING LOT COVERAGE: NO CHANGE - 13,200 (APPROX.)

EXISTING BUILDING HEIGHT: NO CHANGE - 22 FEET (APPROX.)

EXISTING BUILDING SETBACKS: NO CHANGE

PROJECT DATA

OWNER/CLIENT

HACSB
HOUSING AUTHORITY OF THE COUNTY OF SAN BERNARDINO
715 E. BRIER DRIVE
SAN BERNARDINO, CA 92408
ruhli@hacsb.com + j_david@hacsb.com

ARCHITECT

BASIS ARCHITECTURE & CONSULTING INC
2130 4TH STREET, STE. B
SAN RAFAEL, CA 94915
Architect: Charles Pick
415-457-6035
cpick@basisarch.com

MECHANICAL/PLUMBING/ELECTRICAL

GHASSAN SHREIM
AME DESIGN GROUP INC.
2062 BUSINESS CTR. DRIVE
SUITE 250
IRVINE, CA 92612
ghassan@amegroup.net

CIVIL ENGINEERING

TODD MARTINELL

LUDWIG ENGINEERING

109 EAST THRIRS STREET

SAN BERNARDINO, CA 92410

909-884-8217

tmartinell@ludwigeng.com

STRUCTURAL

SCS-STERLING CONSULTING ENGINEERS

188 TECHNOLOGY DRIVE

SUITE #A

IRVINE, CA 92618

415-457-6035

Principle: Bashar Abdelfattah

949-387-8650

bashar@sdsstructural.com

TEAM INDEX

R2 OCCUPANCY, PUBLIC HOUSING APPLICABLE CODES:

2016 CALIFORNIA BUILDING CODE

2016 CALIFORNIA PLUMBING CODE

2016 CALIFORNIA MECHANICAL CODE

2016 CALIFORNIA ELECTRICAL CODE

2016 ENERGY STANDARDS

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

CODE DATA

A0 COVER SHEET

CIVIL DRAWINGS

SHT-1 COVER SHEET, GENERAL NOTES, INDEX MAP
SHT-2 DEMOLITION PLAN
SHT-3 GRADING PLAN
SHT-4 DRAINAGE PLAN
SHT-5 FIRE PROTECTION
SHT-6 DETAILS
SHT-7 DETAILS
SHT-8 CONDITIONS OF APPROVAL
SHT-9 CONDITIONS OF APPROVAL
SHT-10 SECTIONS

ARCHITECTURAL

A0.1 DIAGRAMMATIC GROUND FLOOR PLAN
A0.2 DIAGRAMMATIC SECOND FLOOR PLAN
A0.3 ROOF PLAN
A0.4 CONDITIONAL USE PERMIT COPY
A0.5 CONDITIONAL USE PERMIT COPY
A0.6 CONDITIONAL USE PERMIT COPY
A1.0 TYPICAL UNIT EXISTING PLANS - DIMENSIONING AND NOTES
A1.1 GROUND FLOOR ACCESSIBLE UNIT
DETAIL AND, FINISH SCHEDULE AND NOTES
A1.2 GROUND AND SECOND FLOOR NON-ACCESSIBLE UNITS
DETAIL PANS, FINISH SCHEDULES AND NOTES
A1.3 GROUND AND SECOND FLOOR EXISTING CONDITIONS AND DEMOLITION PLANS
COMMUNITY ROOM AND MANAGERS UNIT
A1.4 GROUND AND SECOND REMODELED PLANS, FINISH SCHEDULES AND NOTES
COMMUNITY ROOM AND MANAGERS UNIT
A1.5 DETAIL PLAN AND ELEVATION MAILBOXES
SCHEMATIC PLANS FOR KITCHEN AND BATHROOM EXHAUST, CEILING SUSPENSION SPECIFICATION
A1.6 BUILDINGS 1, 2 + 3 COMMON AREA PLANS
A3.0 INTERIOR ELEVATIONS
A3.1 INTERIOR ELEVATIONS
A3.2 EXISTING AND REMODELED STAIR PLANS AND SECTIONS
A4.0 TYPICAL EXTERIOR ELEVATIONS
A4.1 GOLDEN AVENUE EXTERIOR ELEVATIONS
A5.0 WALL DETAILS
A5.1 DETAILS
A5.2 ACCESSIBILITY DETAILS EXTERIOR
A5.3 ACCESSIBILITY DETAILS INTERIOR
A6.0 DOOR AND WINDOW SCHEDULES

STRUCTURAL

SGN-1 STRUCTURAL GENERAL NOTES
S-1.0 GROUND LEVEL SLAB LAYOUTS
S-2.0 SECOND FLOOR FRAMING PLANS
S-3.0 UPPER ROOF EXISTING FRAMING PLANS

MECHANICAL

M0.0 MECHANICAL LEAD SHEET
M0.1 MECHANICAL EQUIPMENT SCHEDULES AND DETAILS
M1.1 MECHANICAL GROUND PLAN
M1.2 MECHANICAL SECOND PLAN
M1.3 MECHANICAL ROOF PLAN
M2.1 MECHANICAL UNIT PLANS
M2.2 MECHANICAL GROUND & SECOND FLOOR REMODELED PLANS -
MANAGERS UNIT & COMMUNITY ROOM
M3.1 TITLE 24

PLUMBING

P0.0 PLUMBING LEAD SHEET
P0.1 PLUMBING CALCULATIONS
P1.1 PLUMBING GROUND FLOOR PLAN
P1.2 PLUMBING SECOND FLOOR PLAN
P2.1 PLUMBING GROUND FLOOR ACCESSIBLE UNIT PLANS
P2.2 PLUMBING GROUND & SECOND FLOORS NON- ACCESSIBLE UNIT PLANS
P2.3 PLUMBING GROUND FLOOR DEMOLITION & REMODELED PLANS -
MANAGERS UNIT, COMMUNITY ROOM & BLDG 2 COMMON AREA

ELECTRICAL

E-1.0 GENERAL NOTES, LEGEND AND FIXTURE SCHEDULE
E-1.1 ELECTRICAL SITE PLAN
E-2.0 BUILDING EXTERIOR LIGHTING PLAN
E-2.1 BUILDING EXTERIOR LIGHTING AND ROOF PLAN
E-3.0 ELECTRICAL UNIT PLAN
E-3.1 ELECTRICAL MANAGER UNIT PLAN
E-3.2 ELECTRICAL RECREATION UNIT PLAN
E-4.0 UTILITY AND LAUNDRY ELECTRICAL PLAN
E-5.0 ONE LINE DIAGRAM
E-5.1 ONE LINE DIAGRAM

FIRE PROTECTION (DEFERRED SUBMITTAL)

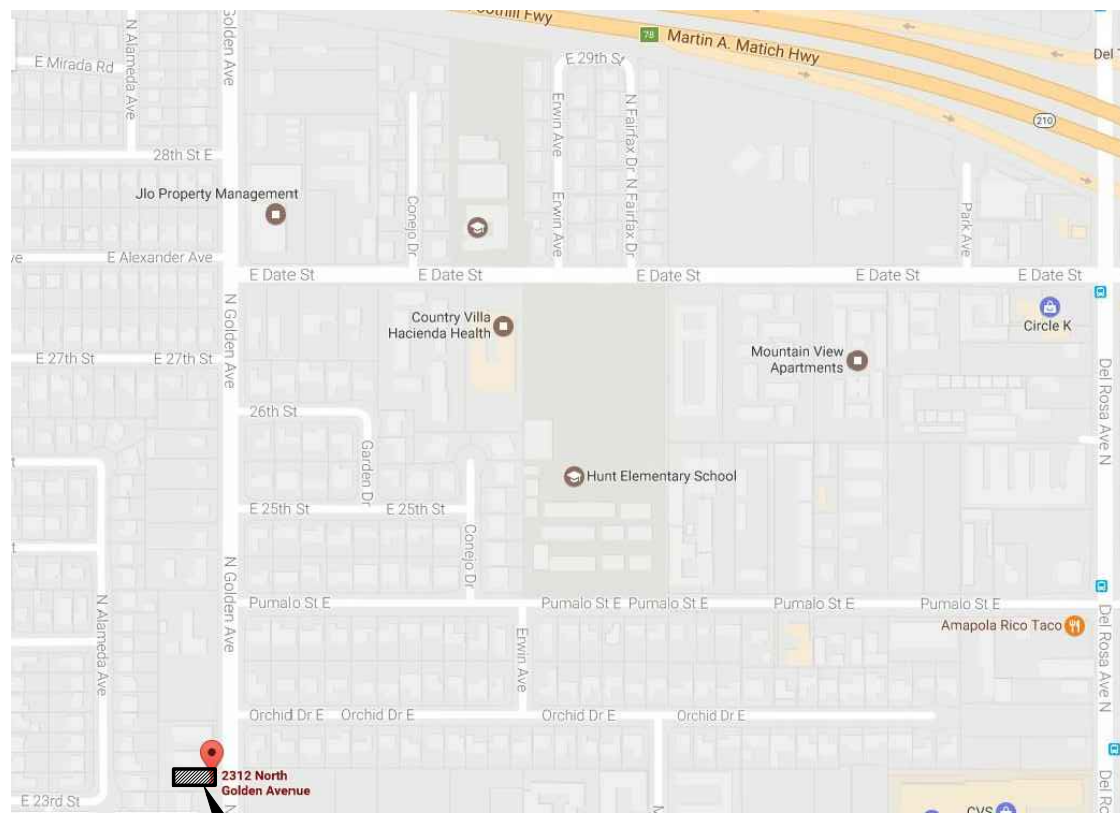
FP-1 CODE REQUIREMENTS

SHEET INDEX

THE FIRE PROTECTION CALCULATIONS AND DRAWINGS WILL BE A DEFERRED SUBMITTAL PREPARED BY THE FIRE PROTECTION CONTRACTOR.

THE CODE REQUIREMENTS FOR THE FIRE PROTECTION SYSTEM ARE DESCRIBED (NFPA 13R FIRE SPRINKLER TYPE REQUIRED)
ON SHEET FP-1

DEFERRED SUBMITTALS



PROJECT LOCATION

VICINITY MAP



BASIS Architecture
& Consulting

2130 FOURTH ST
SAN RAFAEL, CA 94901
PHONE (415) 457-6035
FAX (415) 457-6036

P.O.BOX 150539
SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18
Δ2 PLAN CHECK RESPONSE	5-3-2018
Δ3 PLAN CHECK RESPONSE	5-17-2018
ΔA OWNER REVISIONS	6-21-2018

PROJECT NAME:

**GOLDEN
APARTMENTS**

**CONVERSION OF
TOWNHOMES TO FLAT
UNIT APARTMENTS**

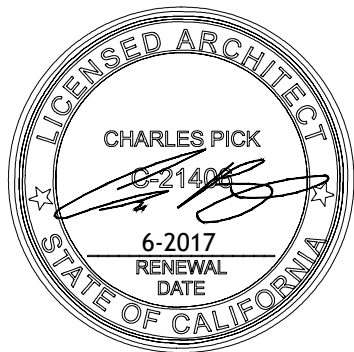
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

COVER SHEET

A0



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
A1 PLAN CHECK RESPONSE	03/30/18
3 PLAN CHECK RESPONSE	5-17-2018

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

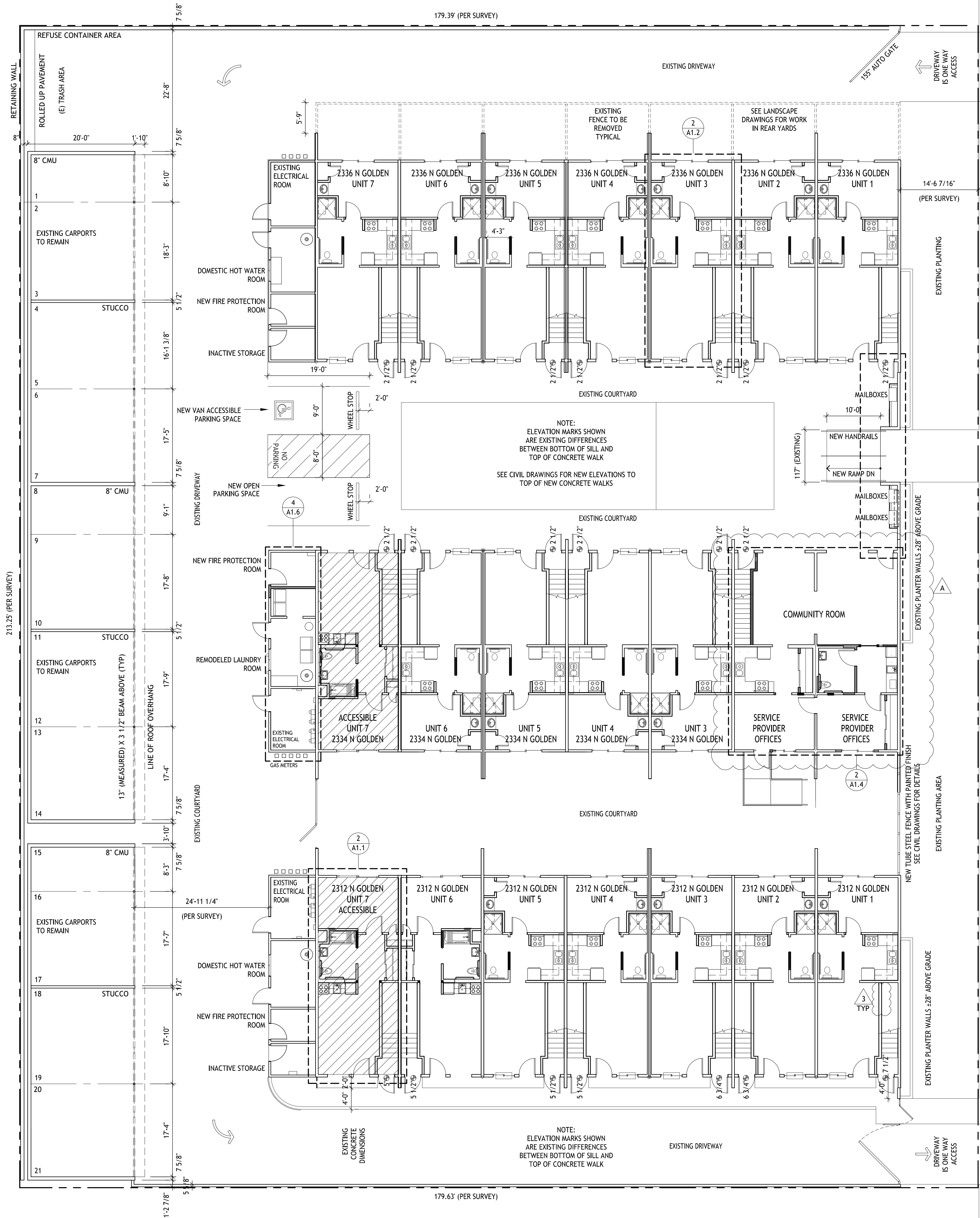
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

DIAGRAMMATIC GROUND FLOOR PLAN

A0.1



CARPORTS

- THE CARPORTS ARE EXISTING TO REMAIN, EXCEPT AS NOTED:
 - THE CONTRACTOR SHALL EXAMINE ALL 13" (MEASURED DIMENSION) X 3 1/2" BEAMS AT THE ROOF OVERHANGS FOR EVIDENCE OF DRY ROT. EXISTING BEAMS FOUND WITH DRY ROT TO BE REMOVED AND REPLACED LIKE-FOR-LIKE.
 - THE CONTRACTOR SHALL EXAMINE THE FASCIAS FOR EVIDENCE OF DRY ROT. MATERIAL FOUND WITH DRY ROT TO BE REMOVED AND REPLACED LIK-FOR-LIKE.
 - ALL NEW MATERIAL TO BE PRIMED AND PAINTED.

SITE NOTES:

- SEE CIVIL DRAWINGS FOR DESCRIPTION OF EXISTING PROPERTY LINES AND DIMENSIONS TO REMAIN WITH NO CHANGE
- SEE CIVIL DRAWINGS FOR EXISTING AND NEW ELEVATIONS TO TOP OF EXISTING AND NEW CONCRETE IN SITE IMPROVEMENTS
- THE SITE INFORMATION SHOWN ON THIS DRAWING IS FOR THE PURPOSE OF SHOWING THE GROUND FLOOR BUILDING PLANS (IN THEIR ENTIRETY) IN CONTEXT
- ALL EXISTING UNLESS OTHERWISE NOTED: U.O.N.

LEGEND

CROSS HATCHING INDICATES ACCESSIBLE UNIT ON ACCESSIBLE PATH OF TRAVEL

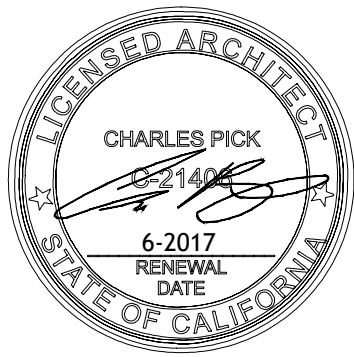


DIAGRAMMATIC GROUND FLOOR PLAN
SCALE: 3 / 32 = 1'-0"

2130 FOURTH ST
SAN RAFAEL, CA 94901
PHONE (415) 457-6035
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SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
A1 PLAN CHECK RESPONSE	03/30/18
A OWNER REVISIONS	6-21-2018

PROJECT NAME:

GOLDEN
APARTMENTS

CONVERSION OF
TOWNHOMES TO FLAT
UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

DIAGRAMMATIC
SECOND FLOOR
PLAN

A0.2

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND ORDINANCES OF THE CITY OF SAN BERNARDINO, CALIFORNIA, INCLUDING:

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
UNIFORM HOUSING CODE
UNIFORM SECURITY CODE

HOURS OF CONSTRUCTION
MONDAY - FRIDAY 7:00 AM - 5:00 PM

CONSTRUCTION NOISE GUIDELINES:
CONTRACTOR SHALL OBTAIN A COPY OF THE CONSTRUCTION NOISE GUIDELINES AND BECOME SELF AWARE OF ALL REQUIREMENTS AND BE SOLELY RESPONSIBLE FOR COMPLYING WITH THE GUIDELINES.

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS & SHALL NOTIFY THE ARCHITECT OF ANY DIMENSIONS & CONDITIONS, WHICH DIFFER FROM THOSE SHOWN, BEFORE STARTING WORK. DIMENSIONS GIVEN AS (CLR.) ARE CODE REQUIRED & SHALL BE MAINTAINED.

3. ALL DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF STUD. ALL DIMENSIONS FROM EXISTING CONSTRUCTION ARE FROM FACE TO FINISH, UNLESS OTHERWISE NOTED (U.O.N.).

4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS FOR EXISTING CONDITIONS & ELEVATIONS MAY BE APPROXIMATE.

5. ALL INSTALLATIONS TO BE IN ACCORDANCE WITH BEST INDUSTRY STANDARDS & MANUFACTURERS REQUIREMENTS, SEE ATTACHED SPECIFICATIONS.

6. ALL THE DRAWINGS SHOW REPRESENTATIVE & TYPICAL ATTACHMENTS, CONNECTIONS, FASTENINGS & ETC. SHALL BE PROPERLY SECURED IN CONFORMANCE WITH BEST PRACTICE.

7. THE PLANS ARE NOT BASED ON A SURVEY & ARE INTENDED ONLY TO SHOW GENERAL LAYOUT OF PROPERTY & WORK LOCATIONS. CONDITIONS SHOWN APPROXIMATE.

8. ALL WORK SUBJECT TO ASSOCIATED PROJECT MANUAL SPECIFICATIONS AND INSTRUCTIONS BY ARCHITECT.

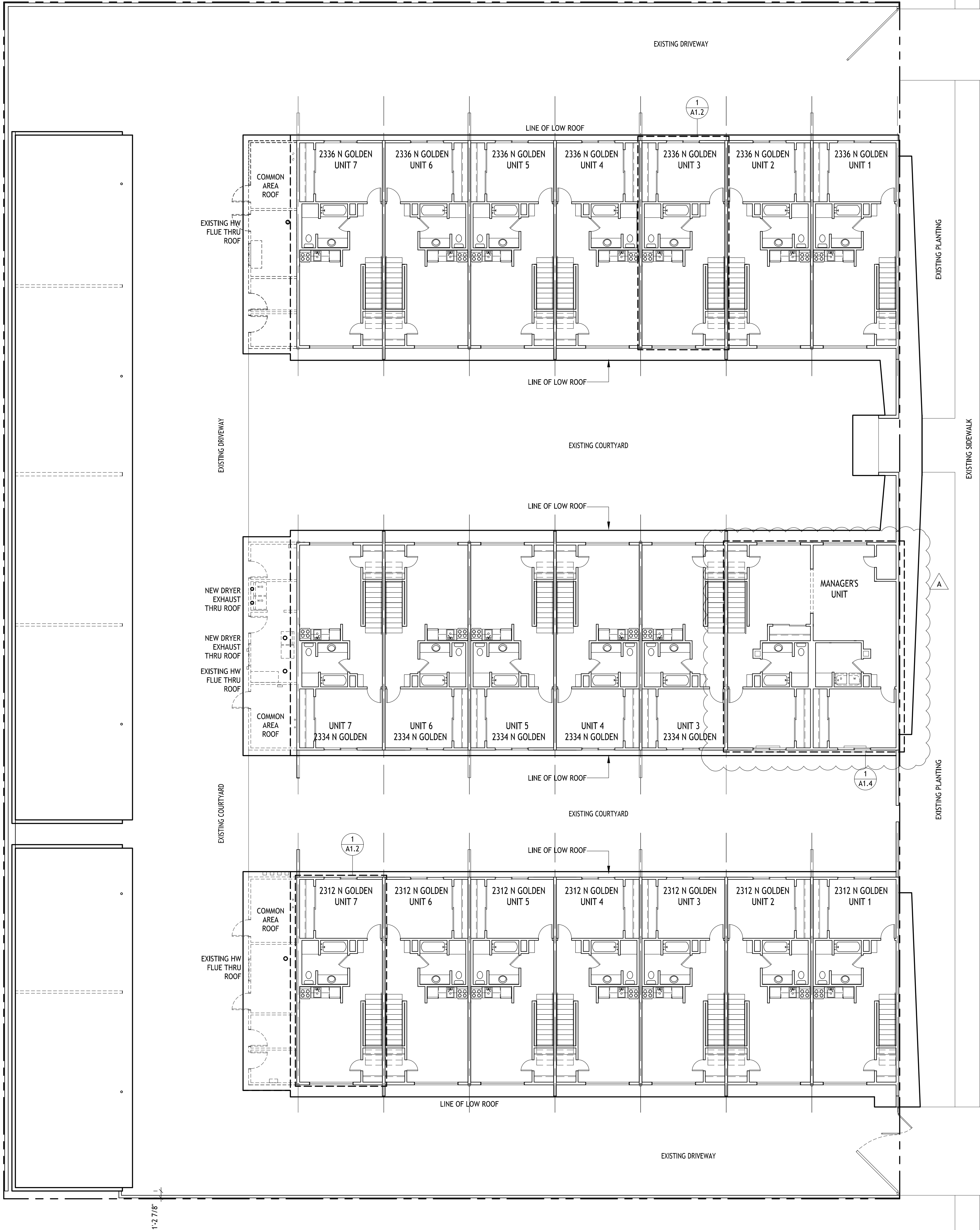
9. ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED.

10. DRYER EXHAUST: SEE MECHANICAL SHEETS. EXHAUST TO BE +24" MIN HT FROM ROOF WITHIN 10'.

DEFERRED SUBMITTALS

THE FIRE PROTECTION CALCULATIONS AND DRAWINGS WILL BE A DEFERRED SUBMITTAL PREPARED BY THE FIRE PROTECTION CONTRACTOR.

THE CODE REQUIREMENTS FOR THE FIRE PROTECTION SYSTEM ARE DESCRIBED ON SHEET FP-1



DIAGRAMMATIC SECOND FLOOR PLAN
SCALE: 3 / 32" = 1'-0"



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
A1 PLAN CHECK RESPONSE	03/30/18
A OWNER REVISIONS	6-21-2018

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

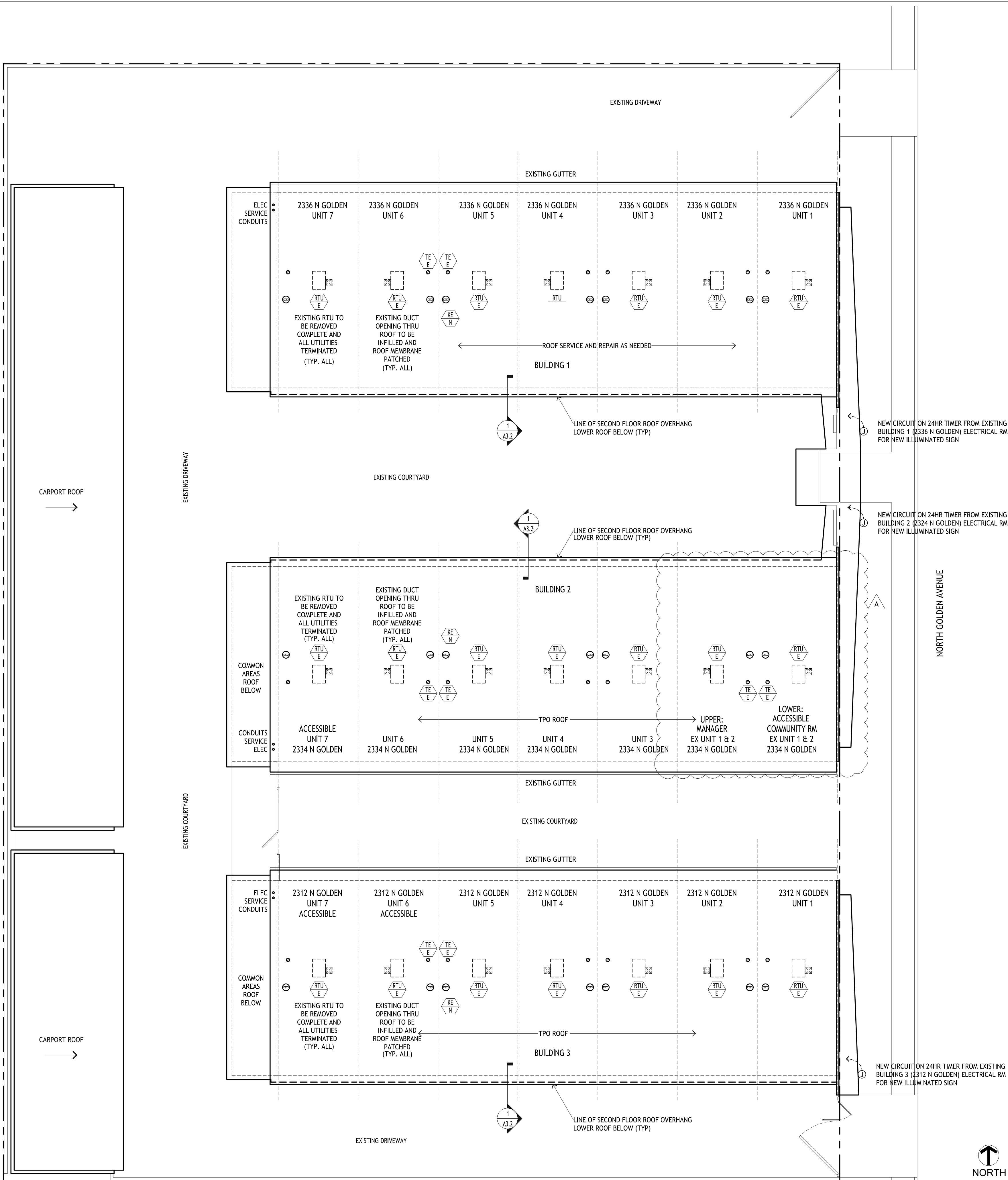
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

ROOF PLAN

A0.3

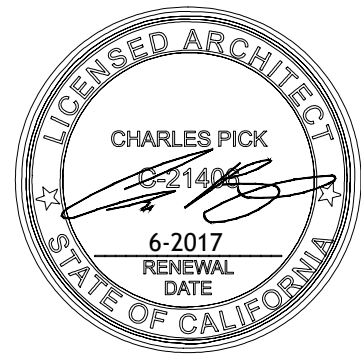


GENERAL NOTES FOR ROOF MEMBRANE AND ROOF MOUNTED EQUIPMENT

- 1 THE EXISTING RTUs ON UNIT 1, 2324 NORTH GOLDEN, THE NEW COMMUNITY ROOM TO BE REUSED IN REMODELED WORK.
PREVENTIVE MAINTENANCE SHALL BE PERFORMED ON THE UNIT AS PER THE ORIGINAL MANUFACTURER'S INSTRUCTIONS AND RECOMMENDED PREVENTIVE MAINTENANCE PLANS.
- 2 THE EXISTING RTUs ON UNIT 2, 2324 NORTH GOLDEN, THE MANAGER'S UNIT TO BE REUSED (NO INTERIOR WORK, ALL EXISTING TO REMAIN)
PREVENTIVE MAINTENANCE SHALL BE PERFORMED ON THE UNIT AS PER THE ORIGINAL MANUFACTURER'S INSTRUCTIONS AND RECOMMENDED PREVENTIVE MAINTENANCE PLANS.
- 3 ALL OTHER EXISTING RTUs TO BE REMOVED AND THE DUCT OPENINGS INFILLED NEW NEW ROOF SHEATHING FITTED TO THE OPENING, AND THE EXISTING ROOF MEMBRANE PATCHED TO PROVIDE CONTINUITY IN THE WATERPROOFING.
- 4 ALL EXISTING KITCHEN AND BATHROOM EXHAUST THRU THE ROOF TO BE REUSED IN THE NEW WORK SHALL REMAIN AND THE ORIGINAL MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR PREVENTIVE MAINTENANCE SHALL BE PERFORMED.
- 5 ALL NEW KITCHEN AND BATHROOM EXHAUST TO BE PROVIDED IN THE NEW WORK SHALL HAVE ROOF CAPS AND PATCHING OF THE EXISTING ROOF MEMBRANE TO PROVIDE CONTINUITY IN THE WATERPROOFING..
- 6 THE CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL ROOF OPENINGS. ALL OPENINGS S ON THE ROOF PLAN AR DIAGRAMMATIC.
- 7 CONTRACTOR TO INSPECT, IDENTIFY DRYROT IN CANOPIES AND OVERHANGS. REPAIR AS NEEDED, RESTORE AND FINISH TO MATCH EXISTING.
- 8 REPLACE ALL GUTTERS AND DOWNSPOUTS.



ROOF PLAN
SCALE: 3 / 32 = 1'-0"



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18
2 PLAN CHECK RESPONSE	5-3-2018
3 PLAN CHECK RESPONSE	5-17-2018
A OWNER REVISIONS	6-21-2018

PROJECT NAME:

GOLDEN
APARTMENTS

CONVERSION OF
TOWNHOMES TO FLAT
UNIT APARTMENTS

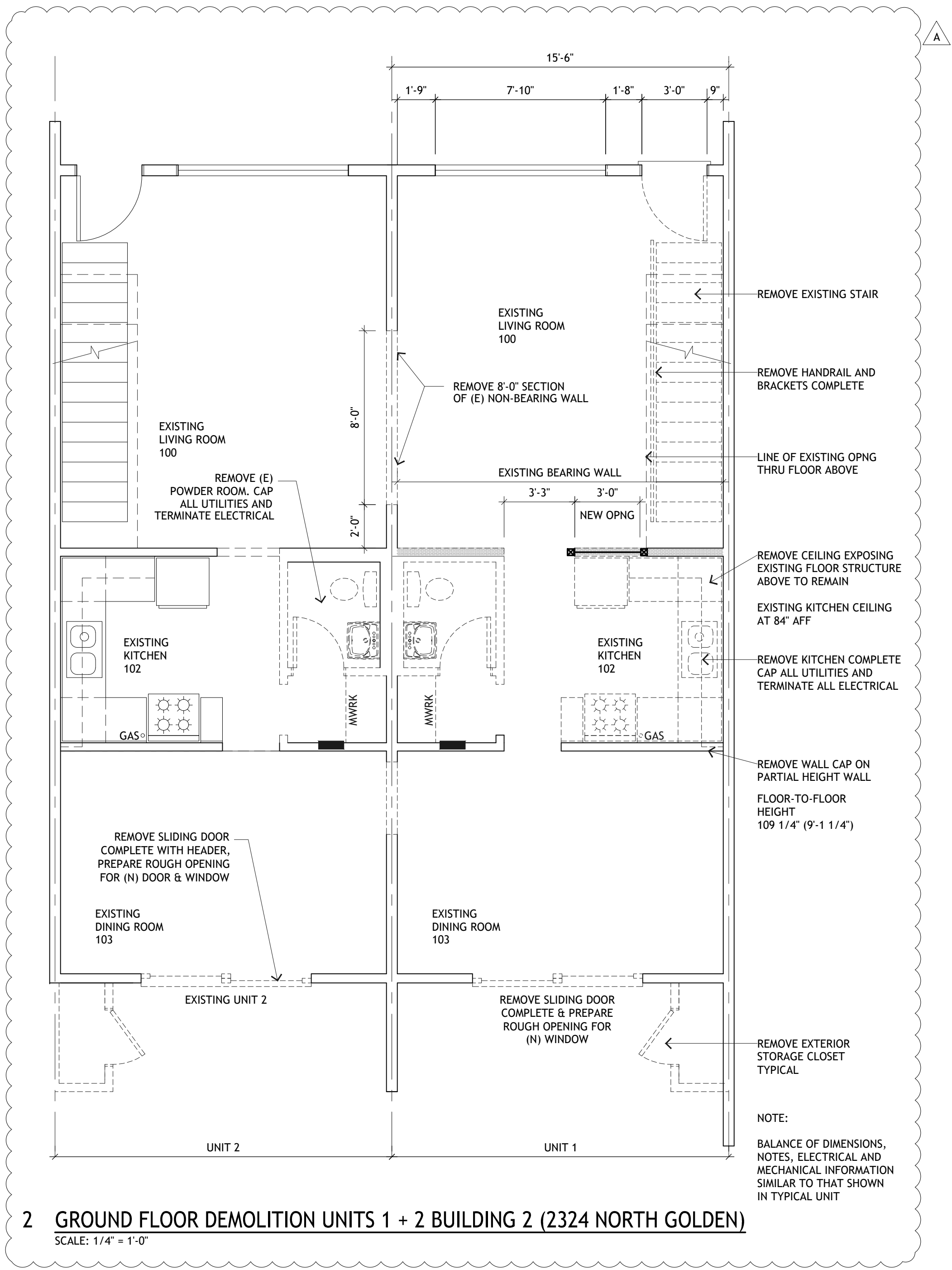
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

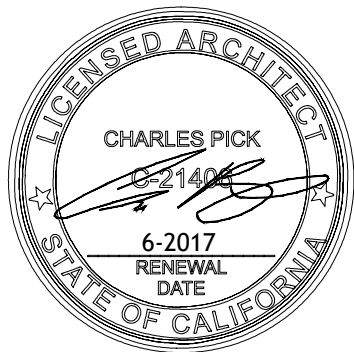
SHEET TITLE:

GROUND
EXISTING/DEMOLITION PLAN:
MANAGER'S UNIT AND
COMMUNITY ROOM

A1.3



2 GROUND FLOOR DEMOLITION UNITS 1 + 2 BUILDING 2 (2324 NORTH GOLDEN)
SCALE: 1/4" = 1'-0"



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

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A OWNER REVISIONS	6-21-2018

PROJECT NAME:

GOLDEN
APARTMENTS

CONVERSION OF
TOWNHOMES TO FLAT
UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

GROUND + SECOND FLOOR
REMODELED PLANS
MANAGER'S UNIT AND
COMMUNITY ROOM
FINISH SCHEDULES

A1.4

GENERAL NOTES FOR INTERIOR FINISHES:

1 ALL NEW PAINT COLORS TO BE SELECTED BY OWNER FROM STANDARD COLORS

LEGEND

- SC COMBINATION SMOKE AND CARBON MONOXIDE ALARM WITH PRIMARY POWER FROM BUILDING PERMANENT POWER SYSTEM (ALARM TO HAVE BATTERY BACK UP)
- SM SMOKE ALARM WITH PRIMARY POWER FROM BUILDING PRIMARY POWER SYSTEM (ALARM TO HAVE BATTERY BACK UP)
- VA COMBINATION VISUAL / AUDIBLE ALARM INTERCONNECTED TO SMOKE AND CARBON MONOXIDE ALARMS IN ACCESSIBLE UNITS 6 + 7 BUILDING 2 (2324 N. GOLDEN) AND UNITS 6 + 7 BUILDING 3 (2312 N. GOLDEN)

COMMON AREA KEYED NOTES

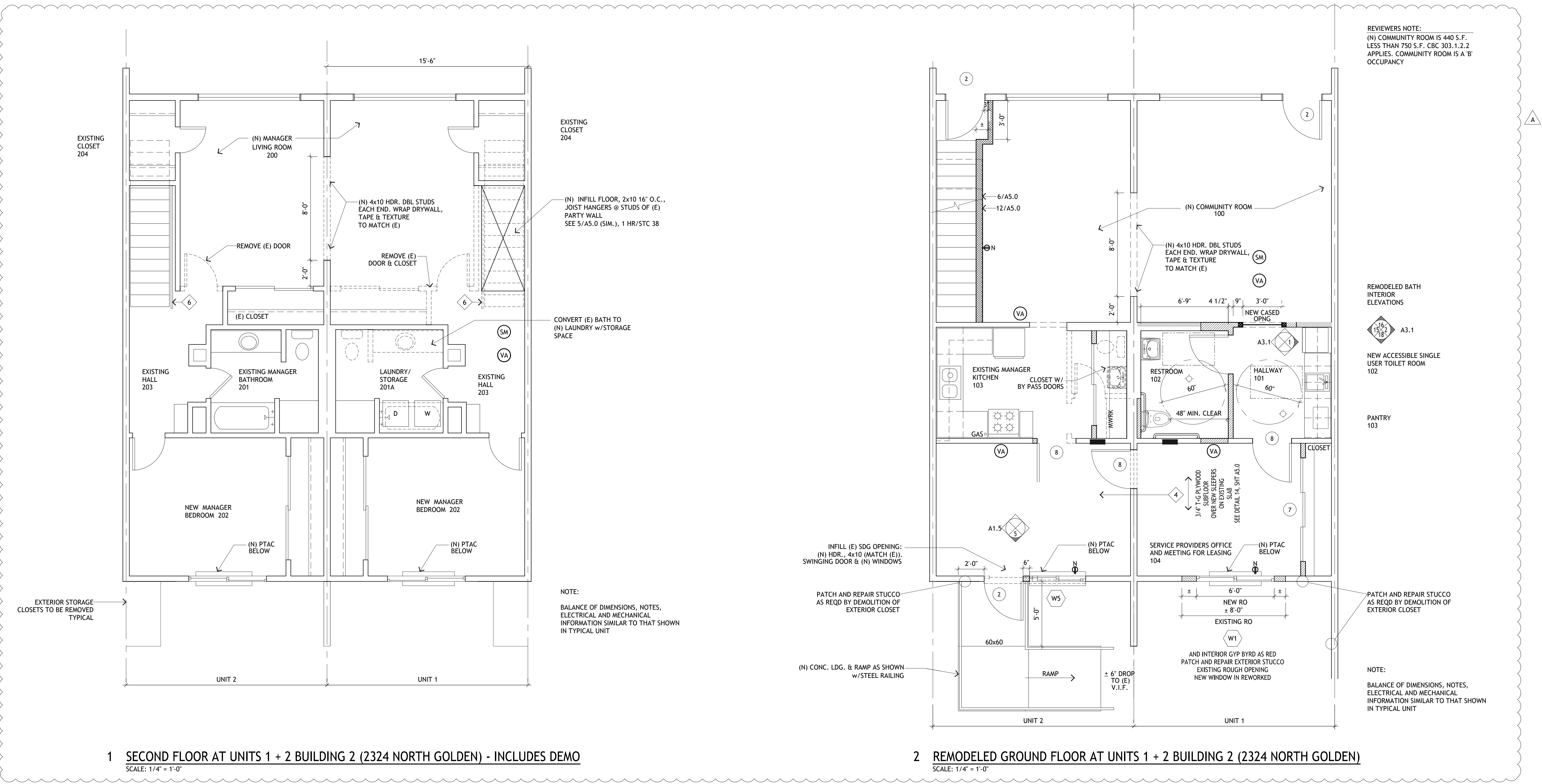
- 1 "EMPLOYEES ONLY" SIGN AT STAIRS
- 2 NEW ACCESSIBLE ENTRY DOOR
- 3 REMOVE EXISTING SLIDING GLASS DOORS, INFILL PORTION OF EXISTING ROUGH OPENING FOR NEW WINDOW
- 4 INFILL FLOOR TO LEVEL
- 5 NEW PANTRY

ROOM FINISH SCHEDULE
MANAGER'S UNIT (UPPER LEVEL)

ROOM #	ROOM DESCRIPTION	FLOOR	BASE	WALLS	CEILING	NOTES
200	MANAGER LIVING ROOM	NEW VINYL ON EXISTING OR NEW FRAMED FLOOR	NEW OR EXISTING WOOD BASE	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	
201	MANAGER BATHROOM	NEW VINYL ON EXISTING FRAMED FLOOR	NEW OR EXISTING WOOD BASE	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	
201A	LAUNDRY / STORAGE	NEW VINYL ON EXISTING FRAMED FLOOR	NEW OR EXISTING WOOD BASE	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	
202	MANAGER BEDROOMS	NEW VINYL ON EXISTING FRAMED FLOOR	NEW OR EXISTING WOOD BASE	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	
203	MANAGER HALL	NEW VINYL ON EXISTING FRAMED FLOOR	NEW OR EXISTING WOOD BASE	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	EXISTING AND NEW TO BE PAINTED TEXTURE AS NEEDED TO MATCH (E)	

ROOM FINISH SCHEDULE
GROUND FLOOR ACCESSIBLE COMMUNITY ROOM

ROOM #	ROOM DESCRIPTION	FLOOR	BASE	WALLS	CEILING	NOTES
100	REMODELED COMMUNITY ROOM	NEW VINYL ON EXISTING CONCRETE SLAB ON GRADE	EXISTING TO BE PAINTED	EXISTING AND NEW GYP BRD TO BE PAINTED	EXISTING TO BE PAINTED	EXISTING CEILING TO REMAIN AT 8'-0" AFF PATCH AND REPAIR CEILING AS REQD FOR INSTALLATION OF NEW ALARMS
101	HALLWAY & KITCHENETTE	NEW VINYL ON EXISTING CONCRETE SLAB ON GRADE	NEW 4" COVE VINYL BASE	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING CEILING TO REMAIN AT 7'-4" AFF PATCH AND REPAIR CEILING AS REQD
102	REMODELED ACCESSIBLE TOILET ROOM	NEW VINYL ON EXISTING CONCRETE SLAB ON GRADE	NEW WOOD BASE TO MATCH EXISTING	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING CEILING TO REMAIN AT 7'-4" AFF PATCH AND REPAIR CEILING AS REQD
103	(E) MANAGER KITCHEN	NEW VINYL ON EXISTING CONCRETE SLAB ON GRADE	NEW 4" COVE VINYL BASE	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING CEILING TO REMAIN AT 7'-4" AFF PATCH AND REPAIR CEILING AS REQD
104	SERVICE PROVIDERS OFFICE AND MEETING ROOM FOR LEASING	NEW VINYL ON NEW PLYWOOD SUBFLOOR	NEW WOOD BASE TO MATCH EXISTING	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING CEILING TO REMAIN AT 8'-0" AFF



USG DRYWALL SUSPENSION SYSTEM

WALL-TO-WALL

TO ORDER SAMPLES, GO TO USG.COM OR CGCINC.COM

PROFILE

no hang wires required for spans to 8'-0"

7'-6" span with 1/4" board

8'-0" span with 1/2" board

6'-6" span

USG Sheetrock® Brand Gypsum Panels

USG CGC

FEATURES AND BENEFITS:

- Simplifies construction for corridors and small rooms
- Eliminates hanger wires and cross tees for unsupported spans up to 8' with 1/2" drywall and 7'-6" with 1/4" drywall
- Pre-engineered components allow easy transition between ceiling types and elevations
- Min. C40 hot-dipped galvanized system (C60 available)
- Standard and custom lengths available
- Manufactured in accordance with ASTM C635

APPLICATIONS:

- Condominiums and apartments
- Healthcare
- Education
- Hotels
- Dormitories
- Office

USG DRYWALL SUSPENSION SYSTEM

WALL-TO-WALL

ORDER SAMPLES/LITERATURE: USG.COM OR CGCINC.COM

FOR MORE UP-TO-DATE INFORMATION, VISIT USG.COM OR CGCINC.COM

TECHNICAL SERVICES: technical@usg.com

Lead Test Data

Span	Height	Face Width	Item No.	Fire Rating	Simple Span L/240 Uniform Load (lb./ft.)	W
12'	8'	1-1/2"	DGW261	Class A	29.84	15-28
12'	10'	1-1/2"	DGW261	Class A	8.84	5-37
12'	12'	1-1/2"	DGW261	Class A	4.53	4-53
12'	14'	1-1/2"	DGW261	Class A	3.75	3-75
12'	16'	1-1/2"	DGW261	Class A	3.75	3-75
12'	18'	1-1/2"	DGW261	Class A	3.75	3-75
12'	20'	1-1/2"	DGW261	Class A	3.75	3-75
12'	22'	1-1/2"	DGW261	Class A	3.75	3-75
12'	24'	1-1/2"	DGW261	Class A	3.75	3-75
12'	26'	1-1/2"	DGW261	Class A	3.75	3-75
12'	28'	1-1/2"	DGW261	Class A	3.75	3-75
12'	30'	1-1/2"	DGW261	Class A	3.75	3-75
12'	32'	1-1/2"	DGW261	Class A	3.75	3-75
12'	34'	1-1/2"	DGW261	Class A	3.75	3-75
12'	36'	1-1/2"	DGW261	Class A	3.75	3-75
12'	38'	1-1/2"	DGW261	Class A	3.75	3-75
12'	40'	1-1/2"	DGW261	Class A	3.75	3-75
12'	42'	1-1/2"	DGW261	Class A	3.75	3-75
12'	44'	1-1/2"	DGW261	Class A	3.75	3-75
12'	46'	1-1/2"	DGW261	Class A	3.75	3-75
12'	48'	1-1/2"	DGW261	Class A	3.75	3-75
12'	50'	1-1/2"	DGW261	Class A	3.75	3-75
12'	52'	1-1/2"	DGW261	Class A	3.75	3-75
12'	54'	1-1/2"	DGW261	Class A	3.75	3-75
12'	56'	1-1/2"	DGW261	Class A	3.75	3-75
12'	58'	1-1/2"	DGW261	Class A	3.75	3-75
12'	60'	1-1/2"	DGW261	Class A	3.75	3-75
12'	62'	1-1/2"	DGW261	Class A	3.75	3-75
12'	64'	1-1/2"	DGW261	Class A	3.75	3-75
12'	66'	1-1/2"	DGW261	Class A	3.75	3-75
12'	68'	1-1/2"	DGW261	Class A	3.75	3-75
12'	70'	1-1/2"	DGW261	Class A	3.75	3-75
12'	72'	1-1/2"	DGW261	Class A	3.75	3-75
12'	74'	1-1/2"	DGW261	Class A	3.75	3-75
12'	76'	1-1/2"	DGW261	Class A	3.75	3-75
12'	78'	1-1/2"	DGW261	Class A	3.75	3-75
12'	80'	1-1/2"	DGW261	Class A	3.75	3-75
12'	82'	1-1/2"	DGW261	Class A	3.75	3-75
12'	84'	1-1/2"	DGW261	Class A	3.75	3-75
12'	86'	1-1/2"	DGW261	Class A	3.75	3-75
12'	88'	1-1/2"	DGW261	Class A	3.75	3-75
12'	90'	1-1/2"	DGW261	Class A	3.75	3-75
12'	92'	1-1/2"	DGW261	Class A	3.75	3-75
12'	94'	1-1/2"	DGW261	Class A	3.75	3-75
12'	96'	1-1/2"	DGW261	Class A	3.75	3-75
12'	98'	1-1/2"	DGW261	Class A	3.75	3-75
12'	100'	1-1/2"	DGW261	Class A	3.75	3-75

VERTICAL SUPPORT

Span	O.C. Spacing (in.)	Maximum Load (lb./sq. ft.)
2'	16"	175.04
2'	24"	119.36
4'	16"	119.36
4'	24"	79.57
6'	16"	79.57
6'	24"	59.68
8'	16"	59.68
8'	24"	44.78
10'	16"	44.78
10'	24"	34.82
12'	16"	34.82
12'	24"	29.84
14'	16"	29.84
14'	24"	24.86
16'	16"	24.86
16'	24"	19.88
18'	16"	19.88
18'	24"	14.90
20'	16"	14.90
20'	24"	11.92
22'	16"	11.92
22'	24"	9.94
24'	16"	9.94
24'	24"	7.96
26'	16"	7.96
26'	24"	5.98
28'	16"	5.98
28'	24"	4.99
30'	16"	4.99
30'	24"	3.99
32'	16"	3.99
32'	24"	2.99
34'	16"	2.99
34'	24"	1.99
36'	16"	1.99
36'	24"	1.49
38'	16"	1.49
38'	24"	1.09
40'	16"	1.09
40'	24"	0.99
42'	16"	0.99
42'	24"	0.89
44'	16"	0.89
44'	24"	0.79
46'	16"	0.79
46'	24"	0.69
48'	16"	0.69
48'	24"	0.59
50'	16"	0.59
50'	24"	0.49
52'	16"	0.49
52'	24"	0.39
54'	16"	0.39
54'	24"	0.29
56'	16"	0.29
56'	24"	0.19
58'	16"	0.19
58'	24"	0.09
60'	16"	0.09
60'	24"	0.00

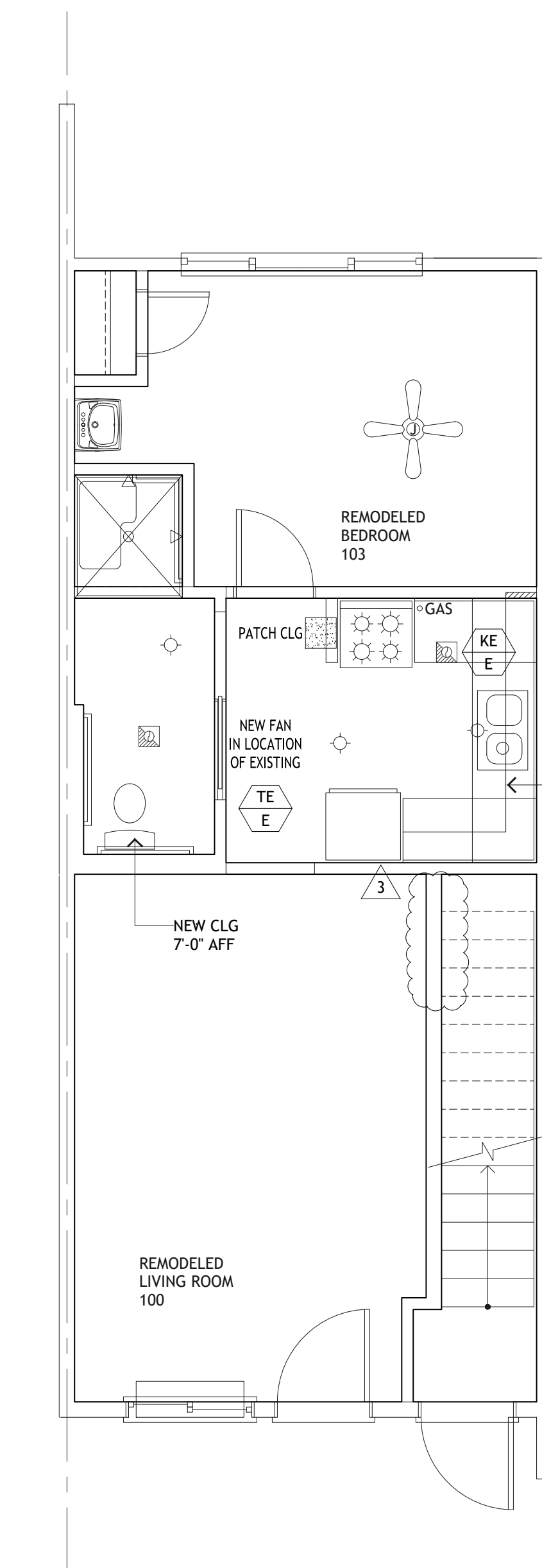
PHYSICAL DATA/FOOTNOTES

Notes: The information in this document is subject to change without notice. CGC and USG assume no responsibility for any errors that may appear in this document.

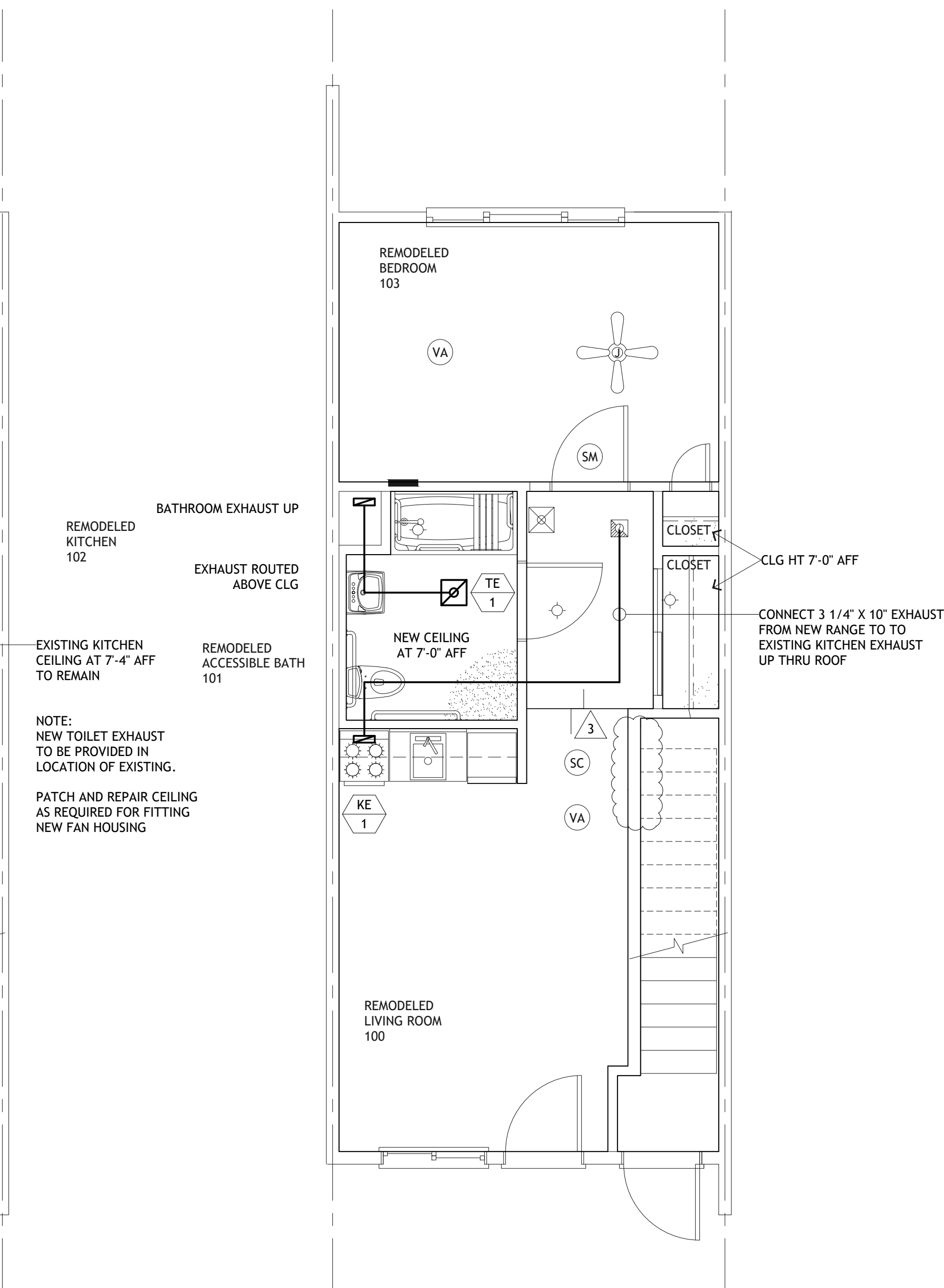
AC208 Rev. 11-16

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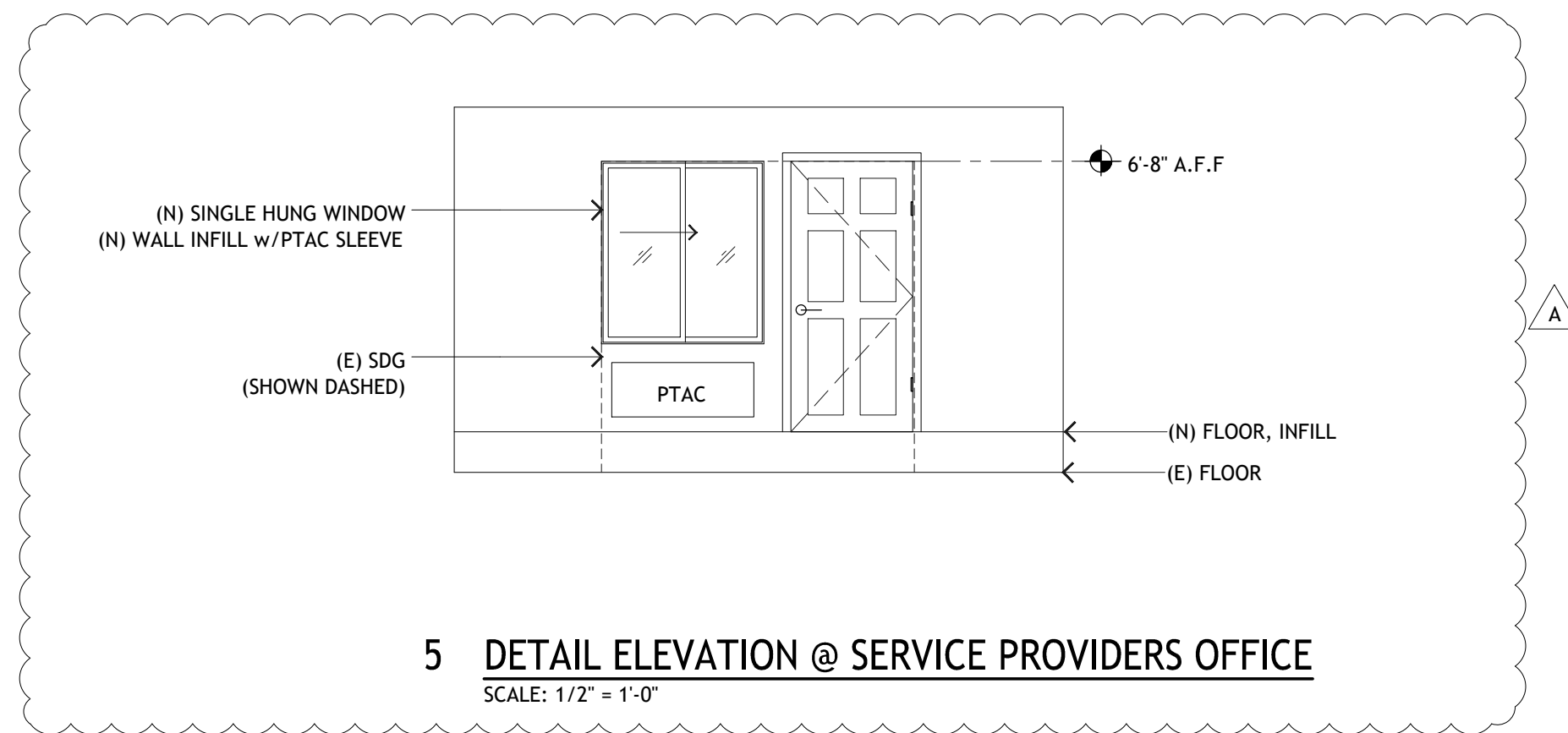
USG CGC



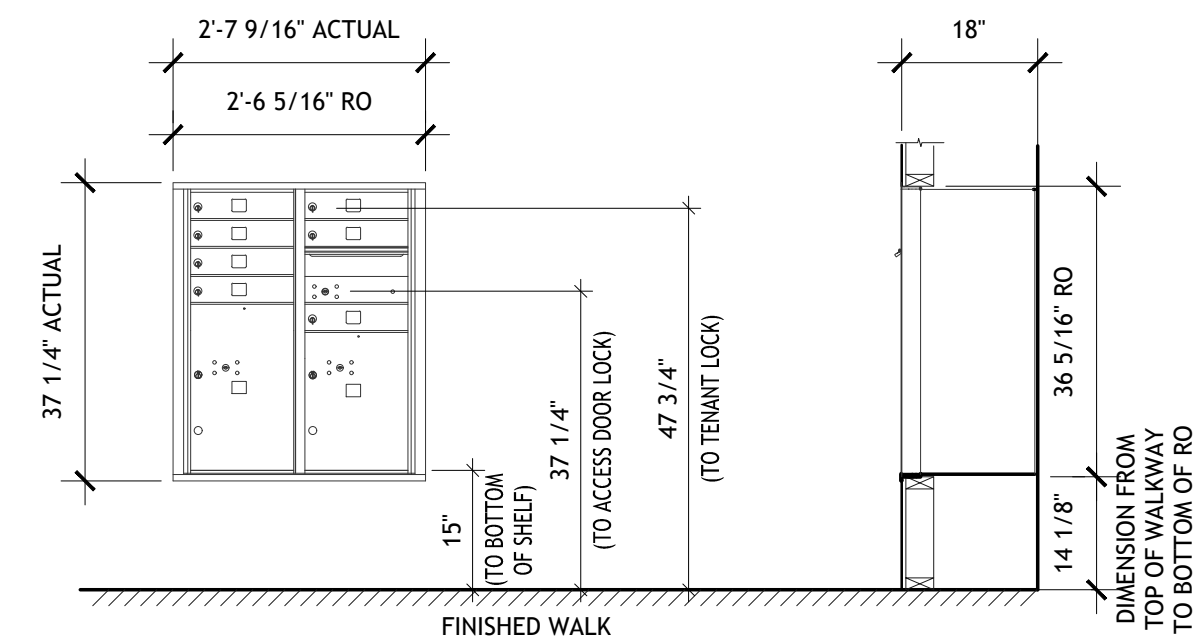
3 RCP TYPICAL REMODELED GROUND FLOOR UNITS
SCALE: 1/4" = 1'-0"



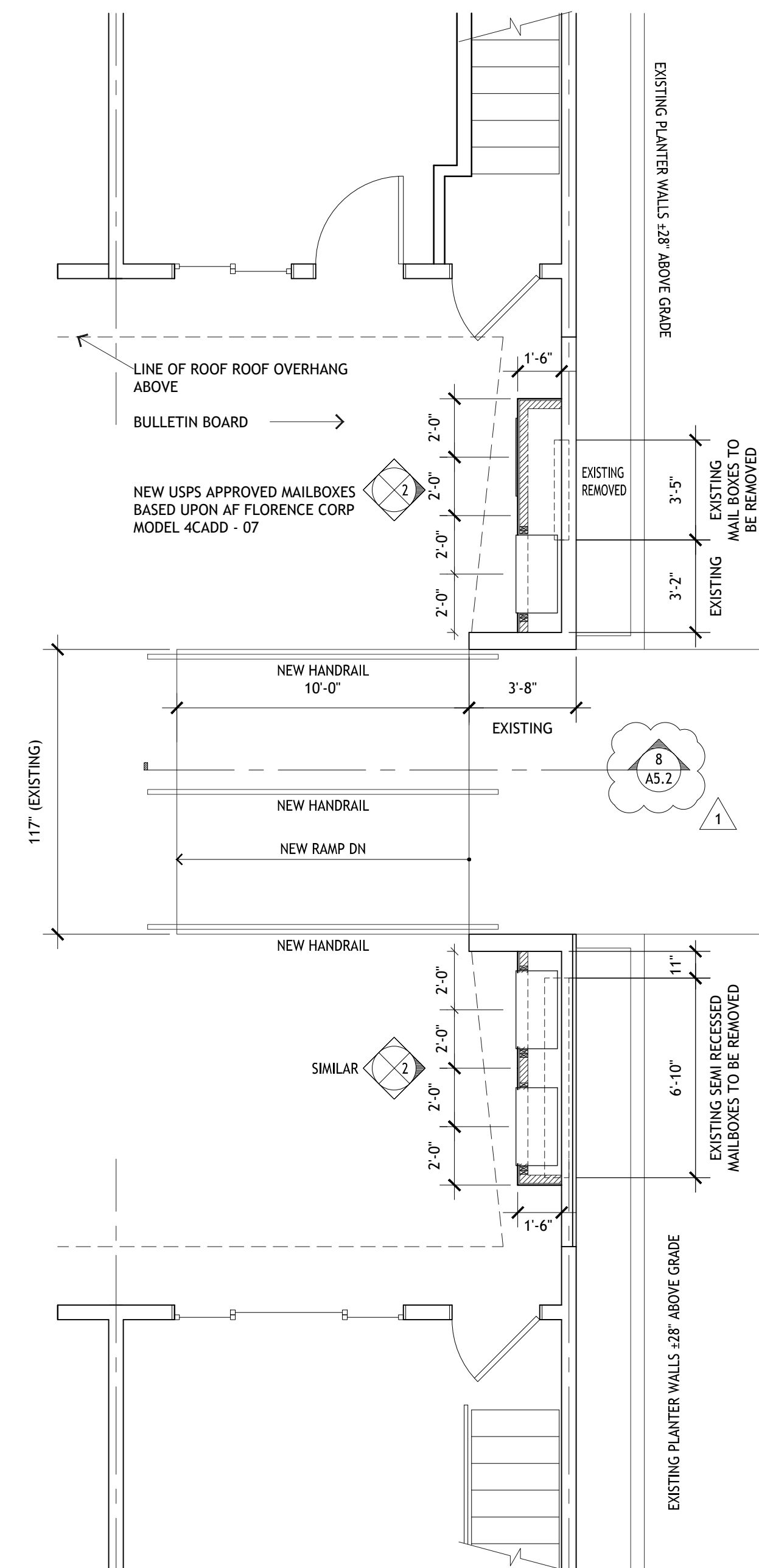
4 RCP (N) ACCESSIBLE UNIT SCHEMATIC PLAN OF ROUTING FOR KITCHEN AND BATHROOM EXHAUST
SCALE: 1/4" = 1'-0"



5 DETAIL ELEVATION @ SERVICE PROVIDERS OFFICE
SCALE: 1/2" = 1'-0"



2 DETAIL ELEVATION OF MAILBOXES
SCALE: 1/2" = 1'-0"



1 ENTRY COURT DETAIL PLAN
SCALE: 1/4" = 1'-0"



LEGEND	
	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

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A OWNER REVISIONS	6-21-2018

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

RCP, DETAIL PLAN + ELEV
MAILBOXES,
SCHEMATIC PLANS FOR
KITCHEN + BATH EXHAUST,
CLG SUSPENSION SPECIFICATION

A1.5



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

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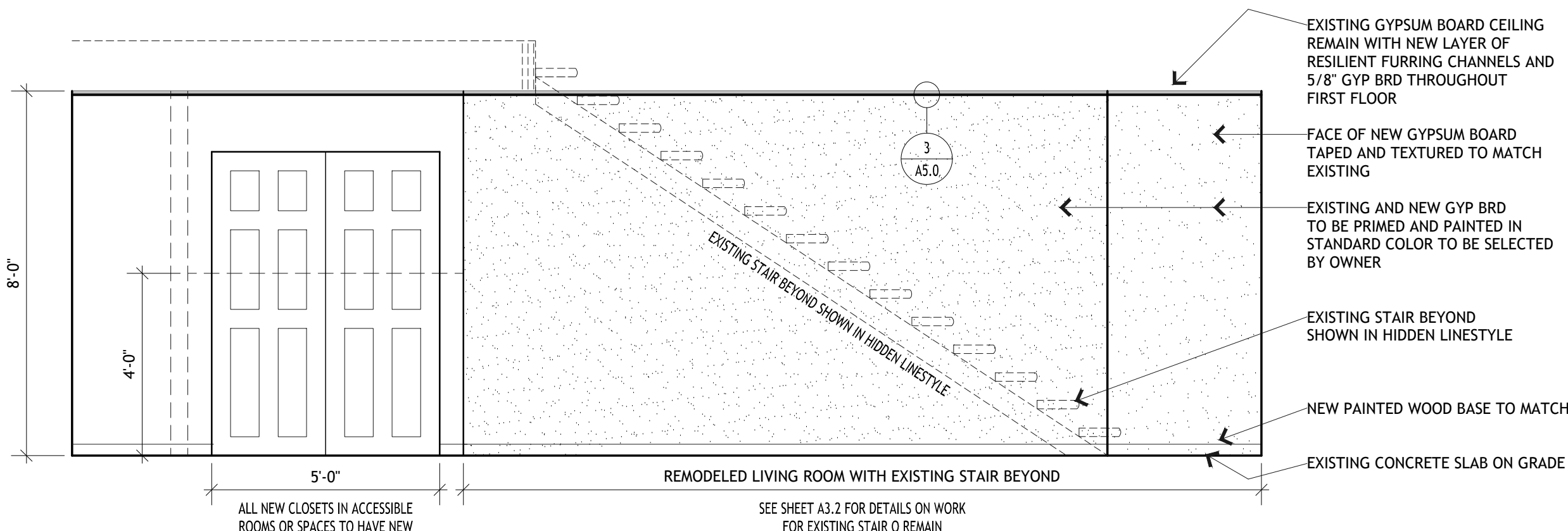
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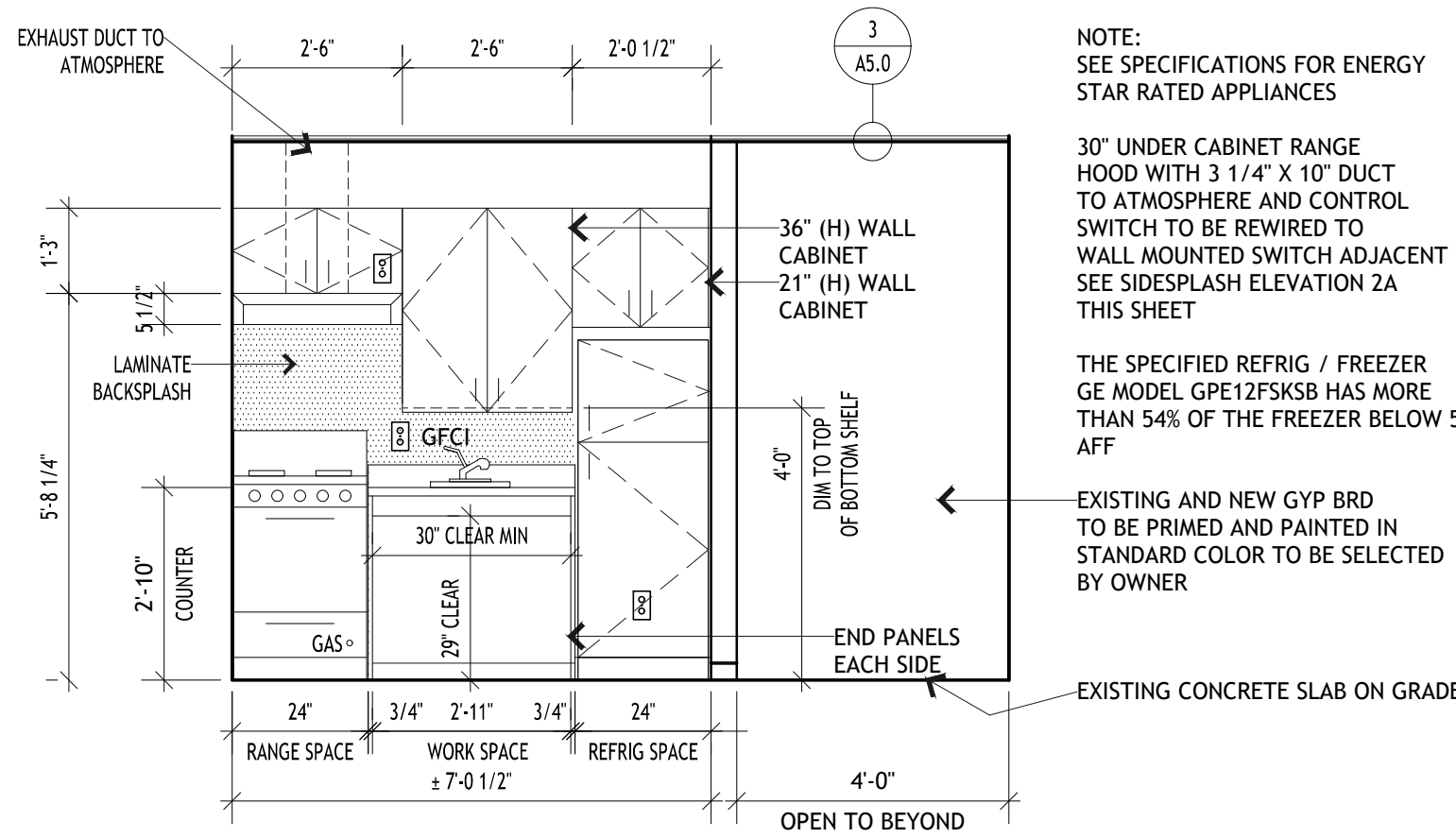
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INTERIOR
ELEVATIONS

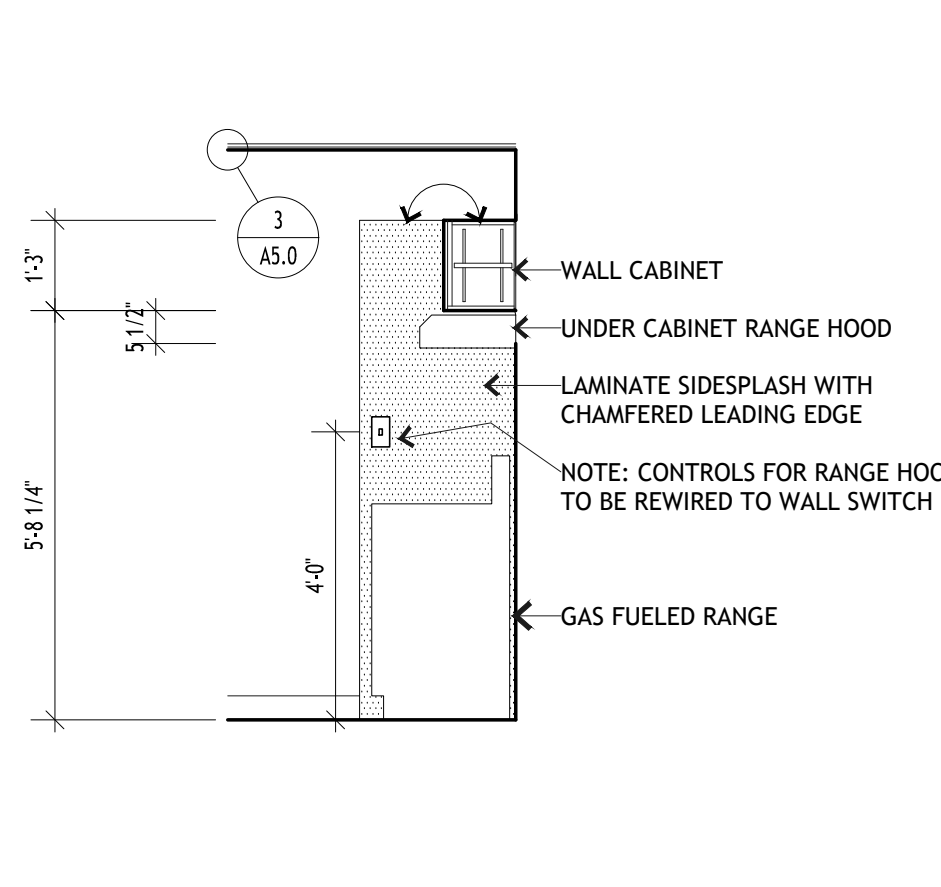
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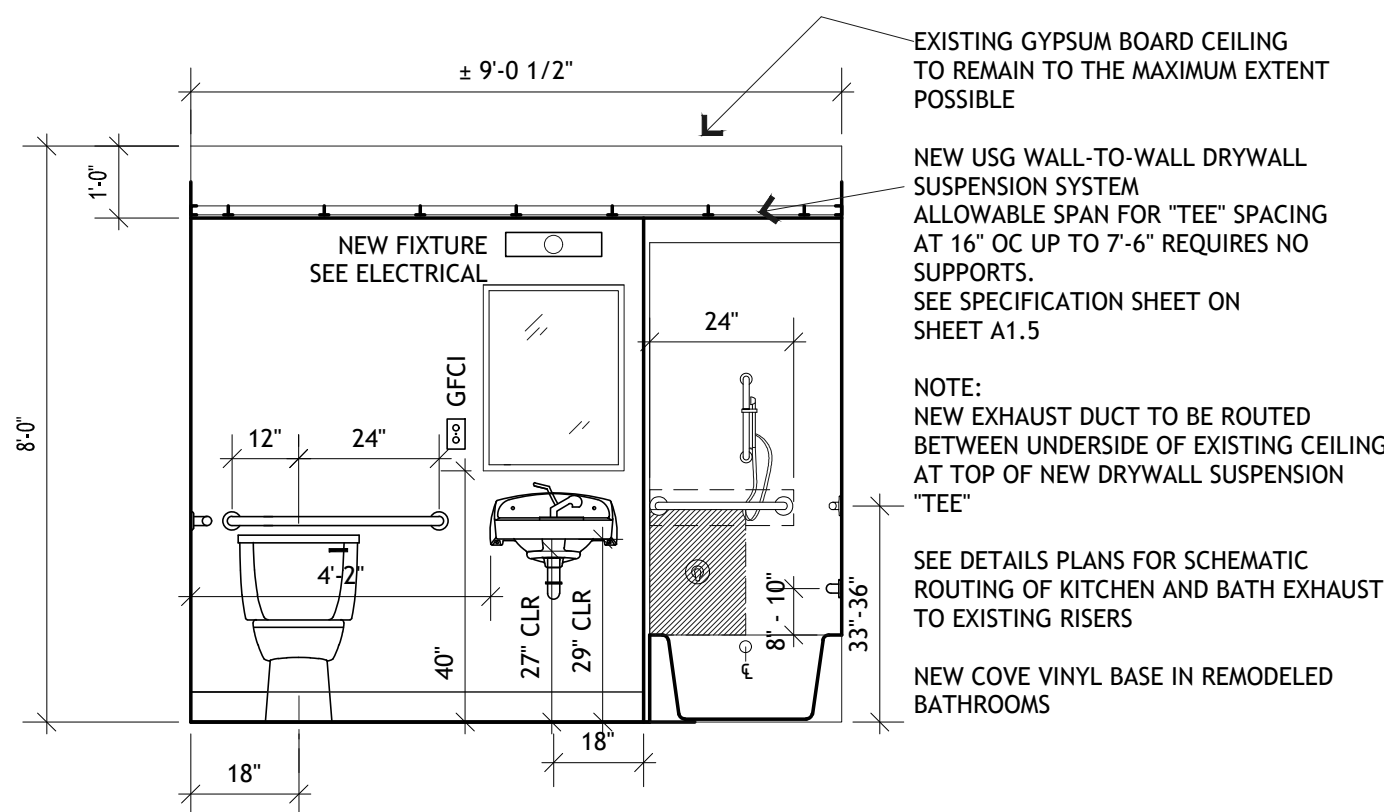
1 GROUND FLOOR ACCESSIBLE UNIT - LIVING ROOM & COMMUNITY ROOM
SCALE: 3/8" = 1'-0"



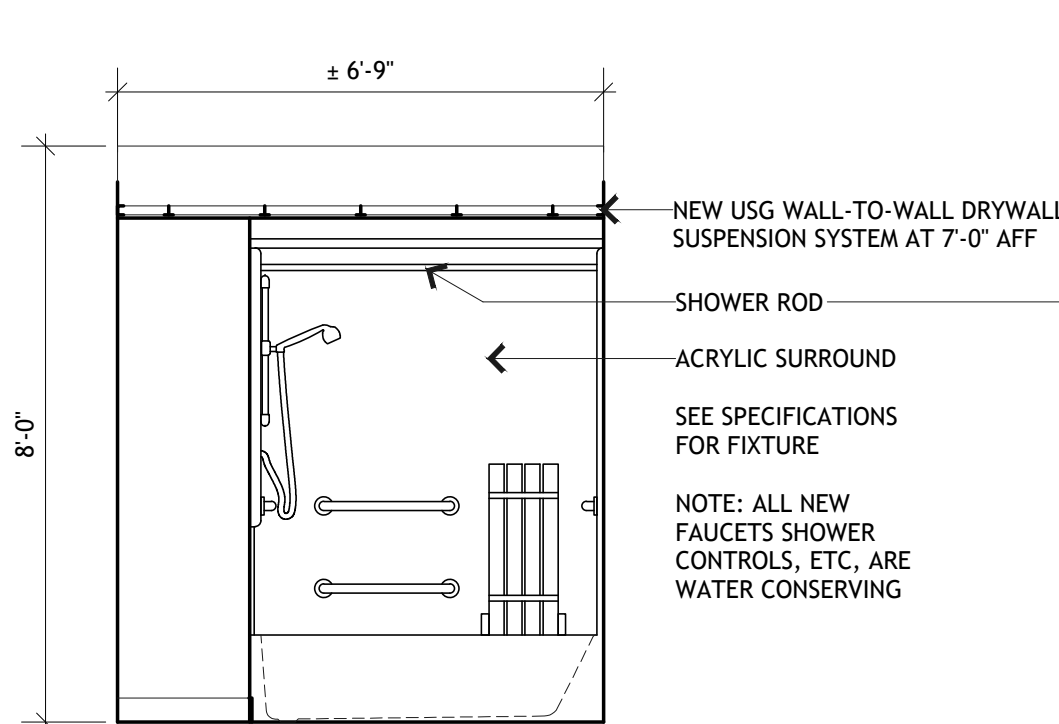
2 GROUND FLOOR ACCESSIBLE UNIT - KITCHEN
SCALE: 3/8" = 1'-0"



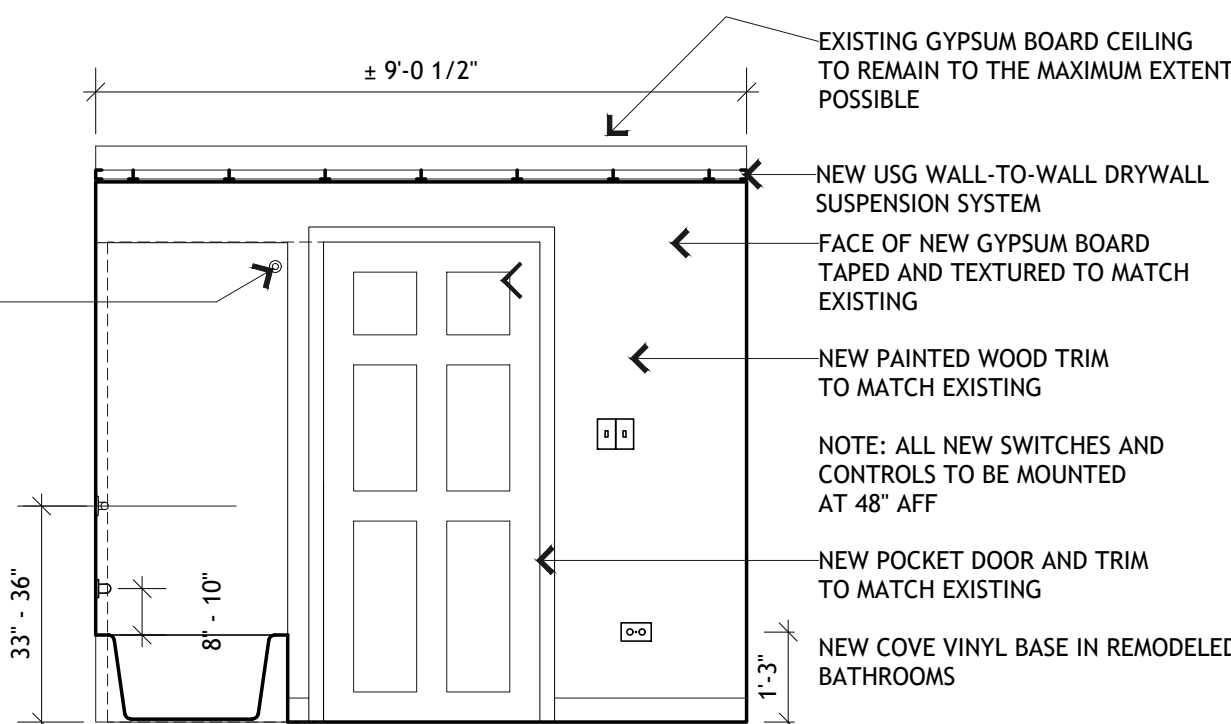
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SCALE: 3/8" = 1'-0"



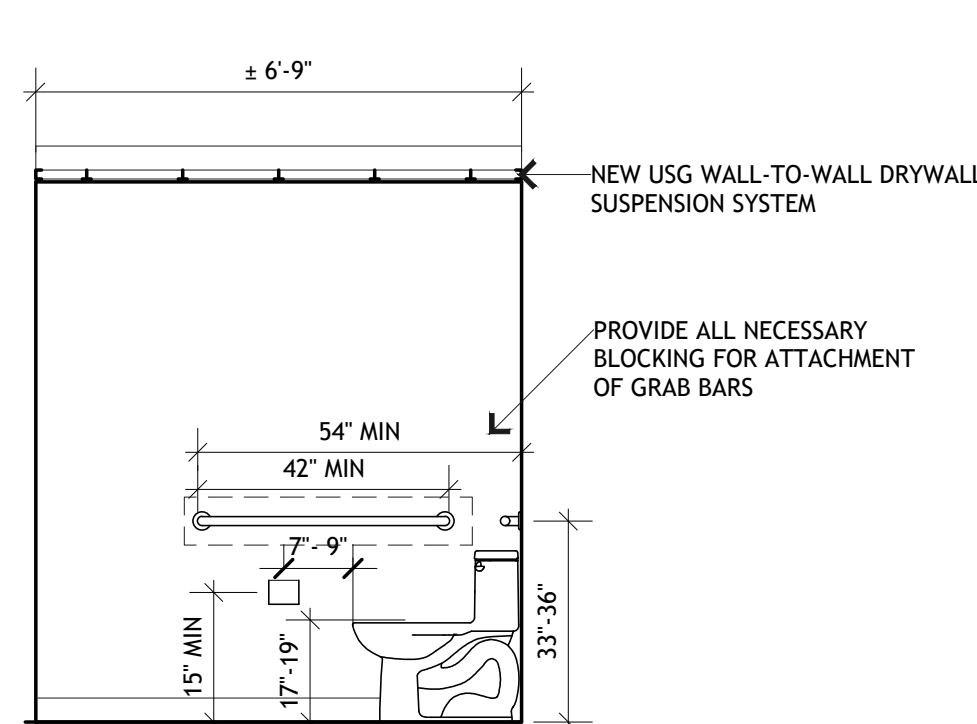
3 GROUND FLOOR ACCESSIBLE UNIT
BATHROOM
SCALE: 3/8" = 1'-0"



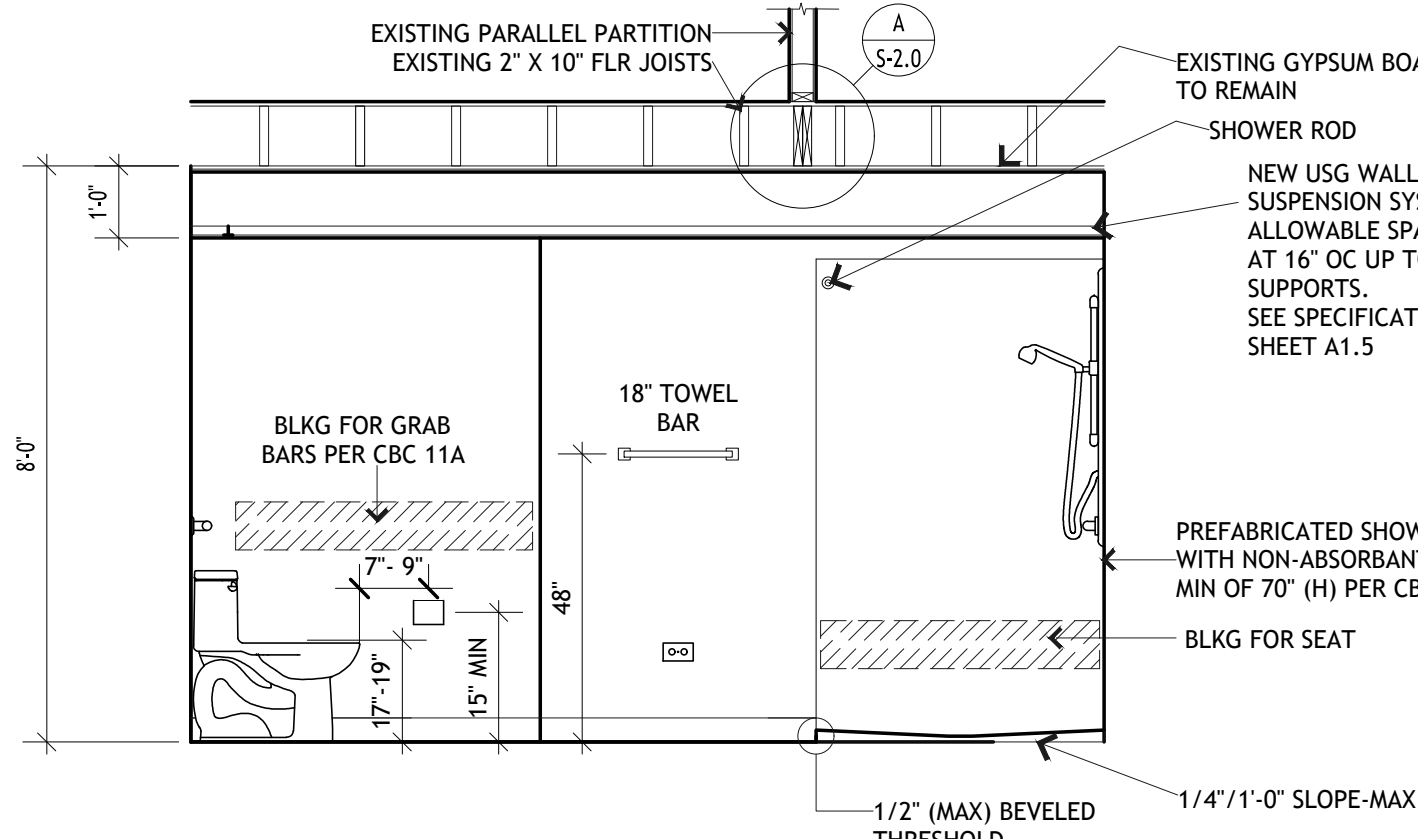
4 GROUND FLOOR ACCESSIBLE UNIT
BATHROOM
SCALE: 3/8" = 1'-0"



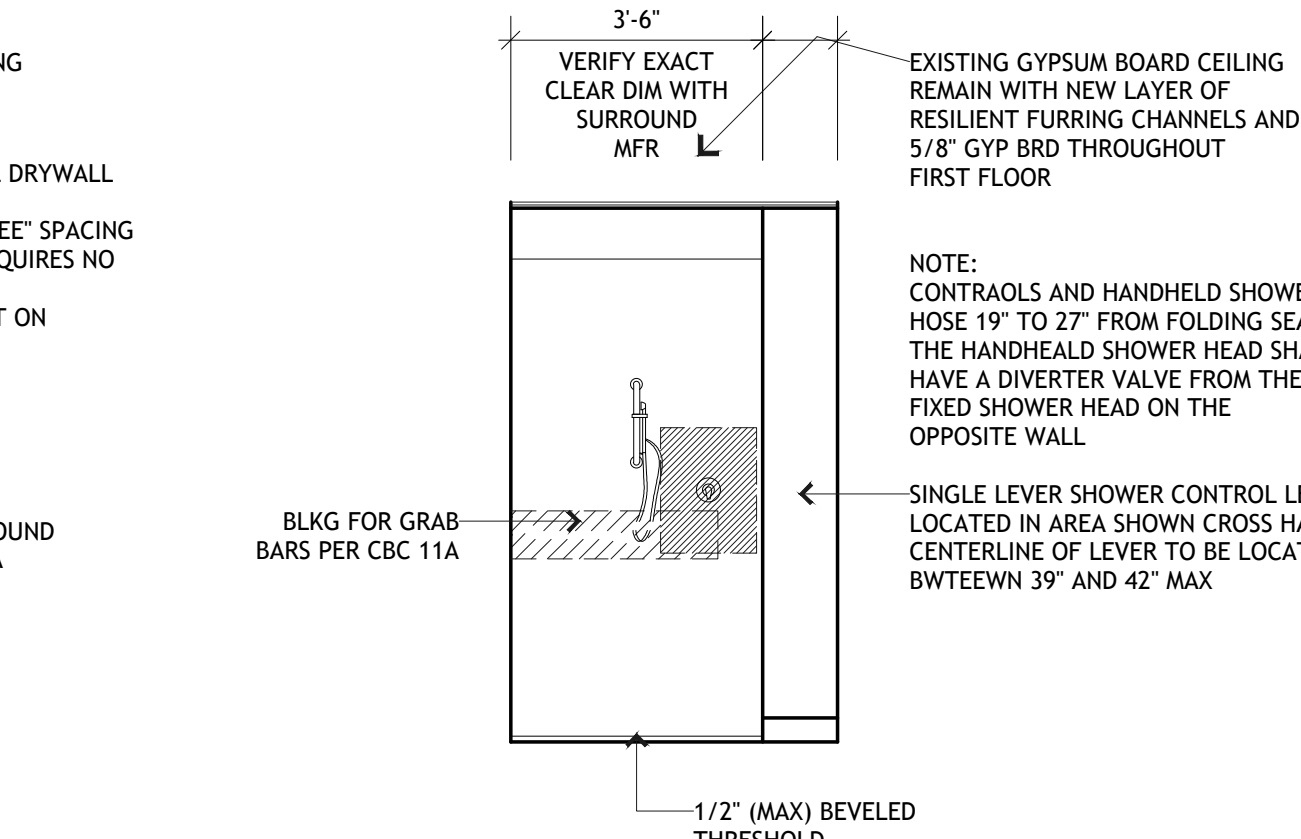
5 GROUND FLOOR ACCESSIBLE UNIT
BATHROOM
SCALE: 3/8" = 1'-0"



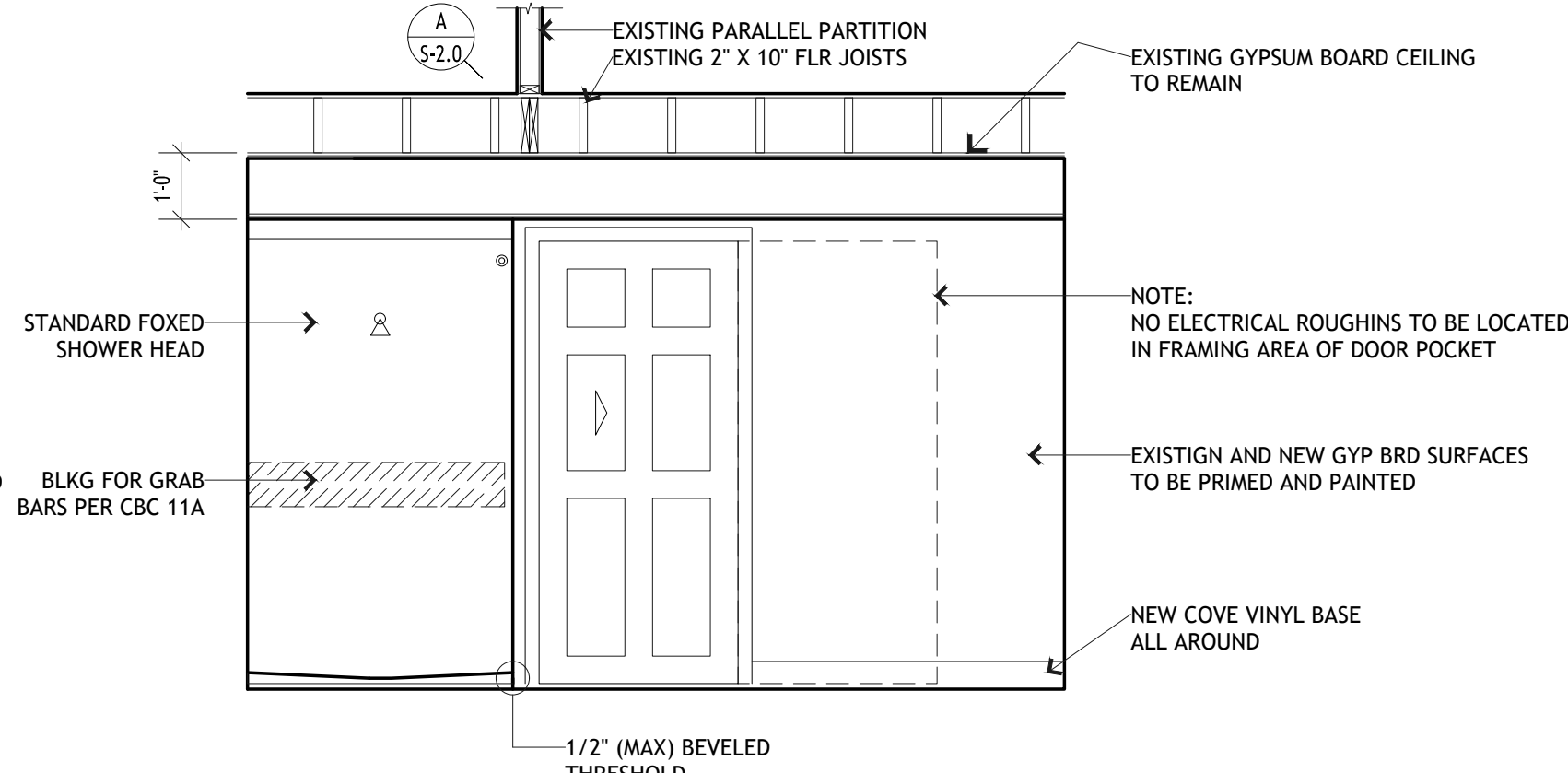
6 GROUND FLOOR ACCESSIBLE UNIT
BATHROOM
SCALE: 3/8" = 1'-0"



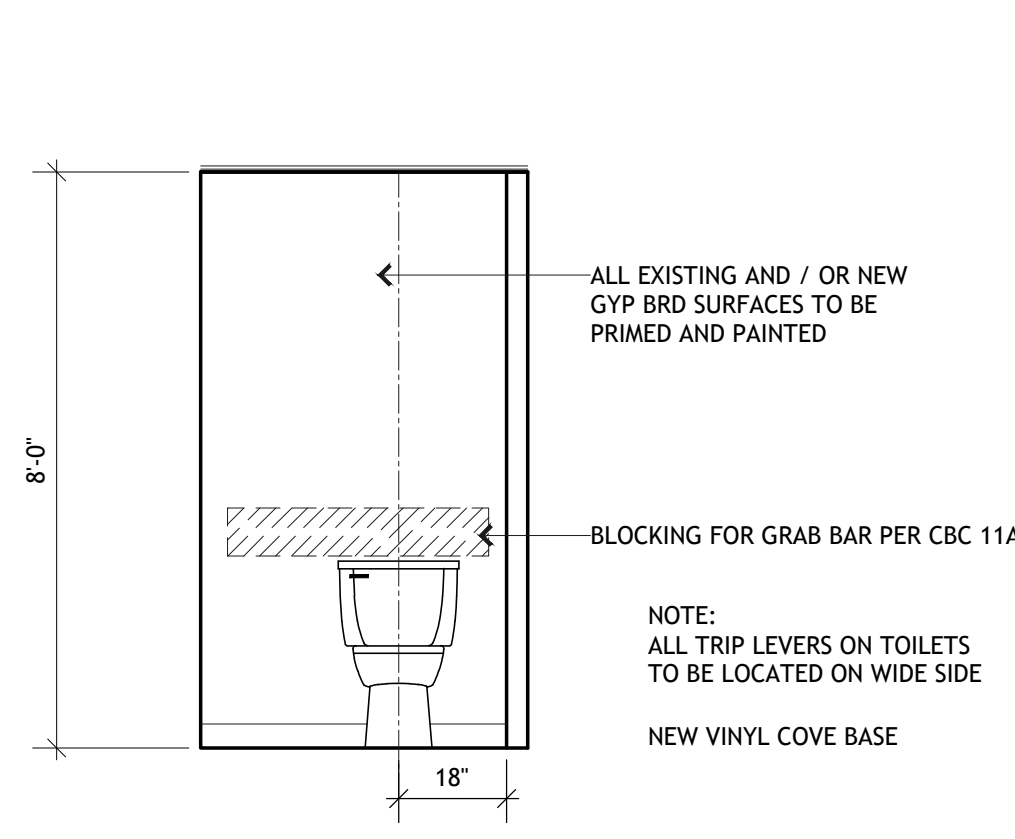
7 GROUND FLOOR NON-ACCESSIBLE UNIT
BATHROOM
SCALE: 3/8" = 1'-0"



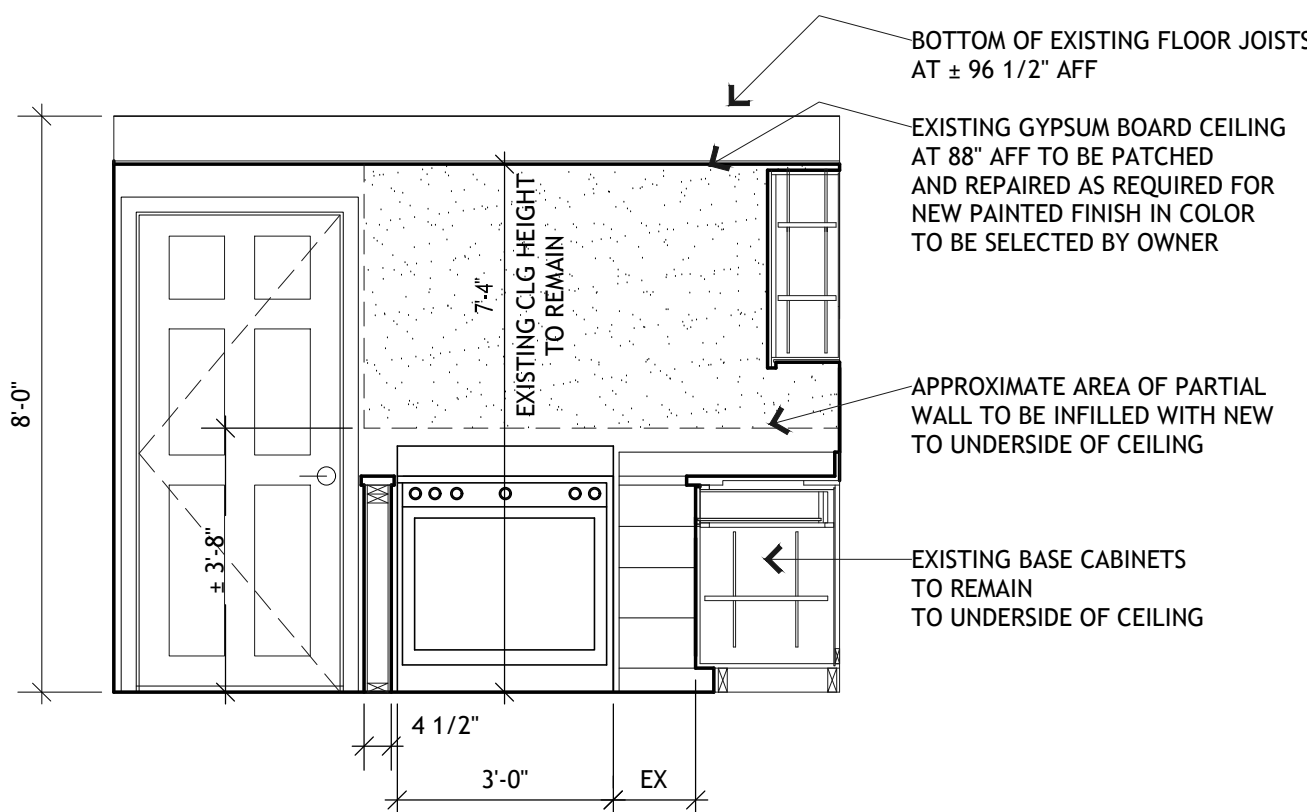
8 GROUND FLOOR NON-ACCESSIBLE UNIT
BATHROOM
SCALE: 3/8" = 1'-0"



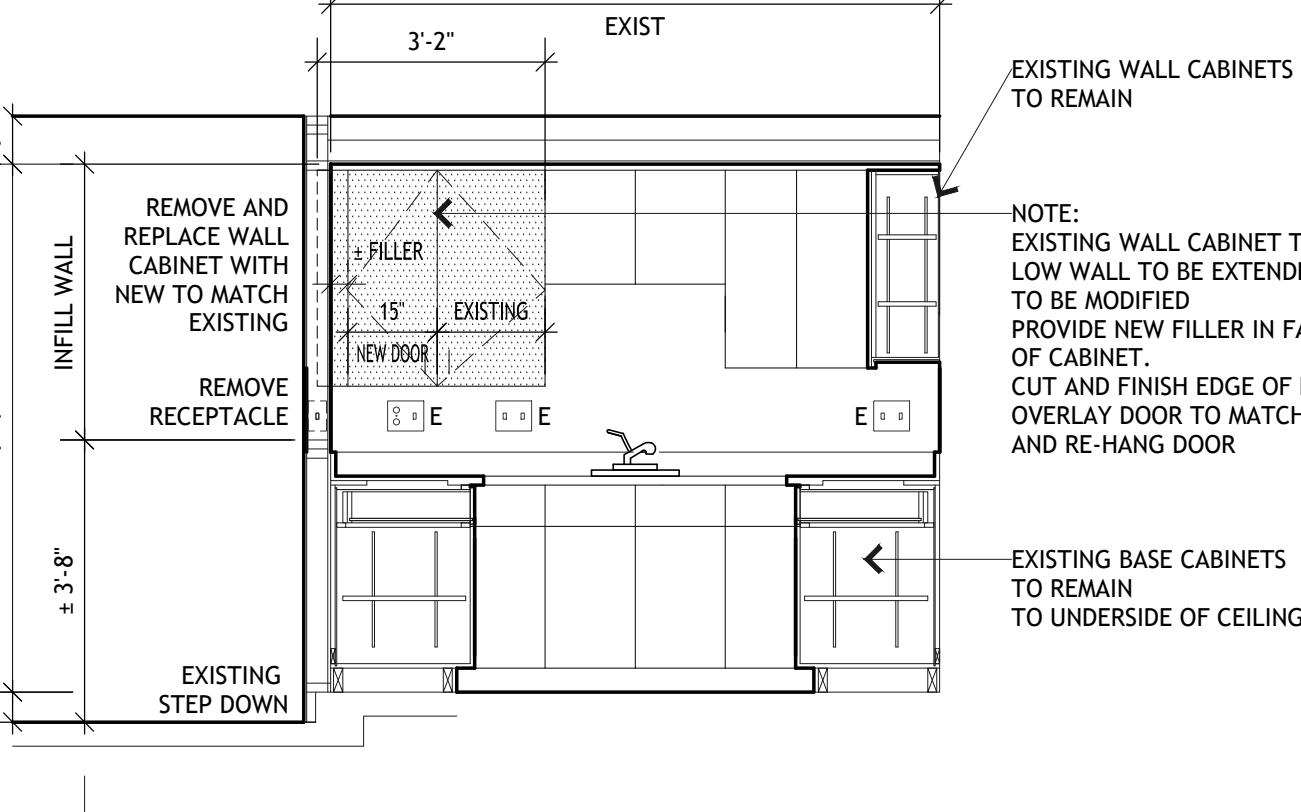
9 GROUND FLOOR NON-ACCESSIBLE UNIT
BATHROOM
SCALE: 3/8" = 1'-0"



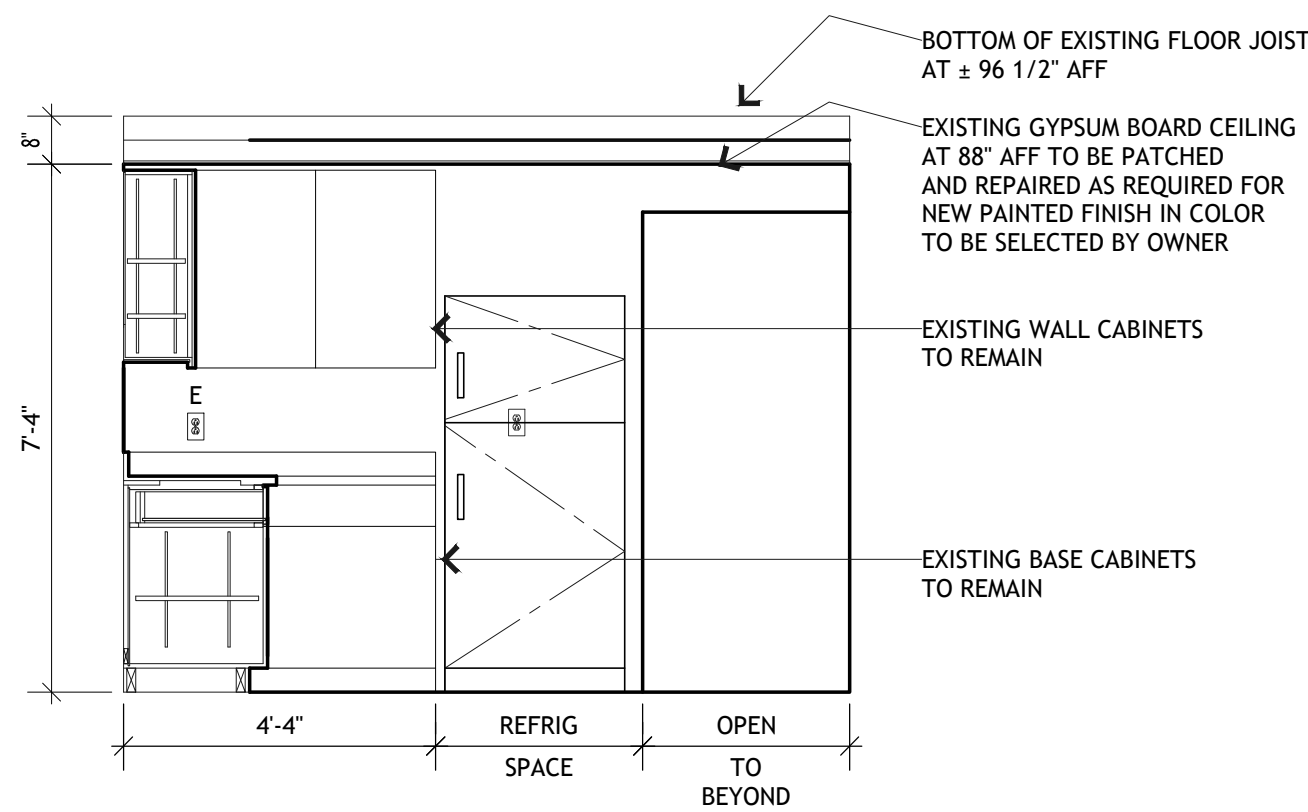
10 GROUND FLOOR NON-ACCESSIBLE UNIT
BATHROOM
SCALE: 3/8" = 1'-0"



11 GROUND FLOOR NON-ACCESSIBLE UNIT
KITCHEN
SCALE: 3/8" = 1'-0"



12 GROUND FLOOR NON-ACCESSIBLE UNIT
KITCHEN
SCALE: 3/8" = 1'-0"



13 GROUND FLOOR NON-ACCESSIBLE UNIT
KITCHEN
SCALE: 3/8" = 1'-0"



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
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CONVERSION OF
TOWNHOMES TO FLAT
UNIT APARTMENTS

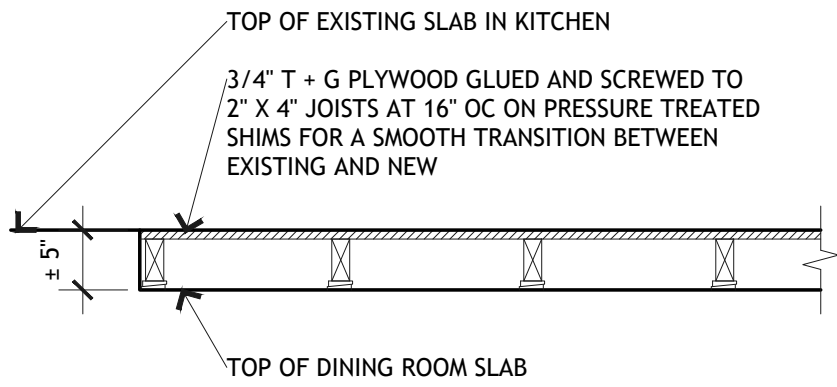
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

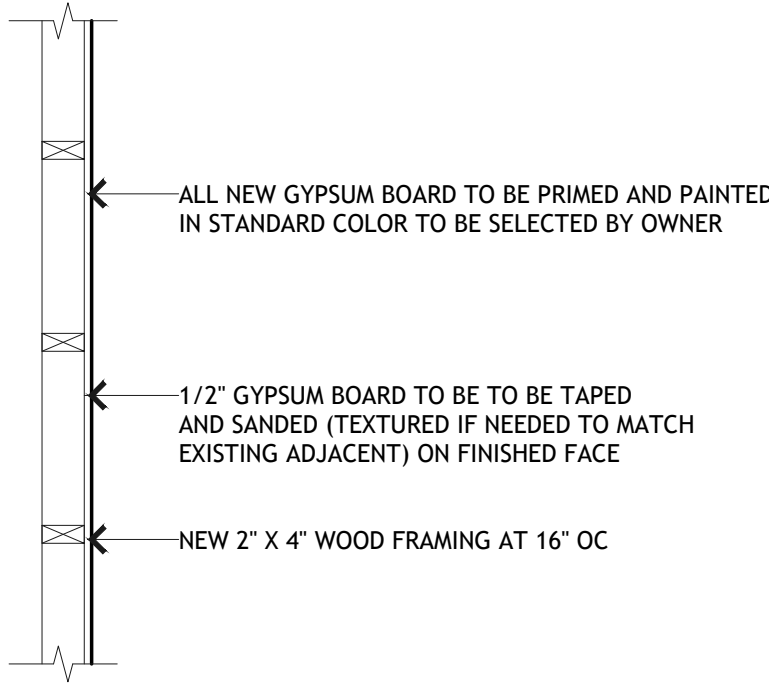
SHEET TITLE:

WALL
DETAILS

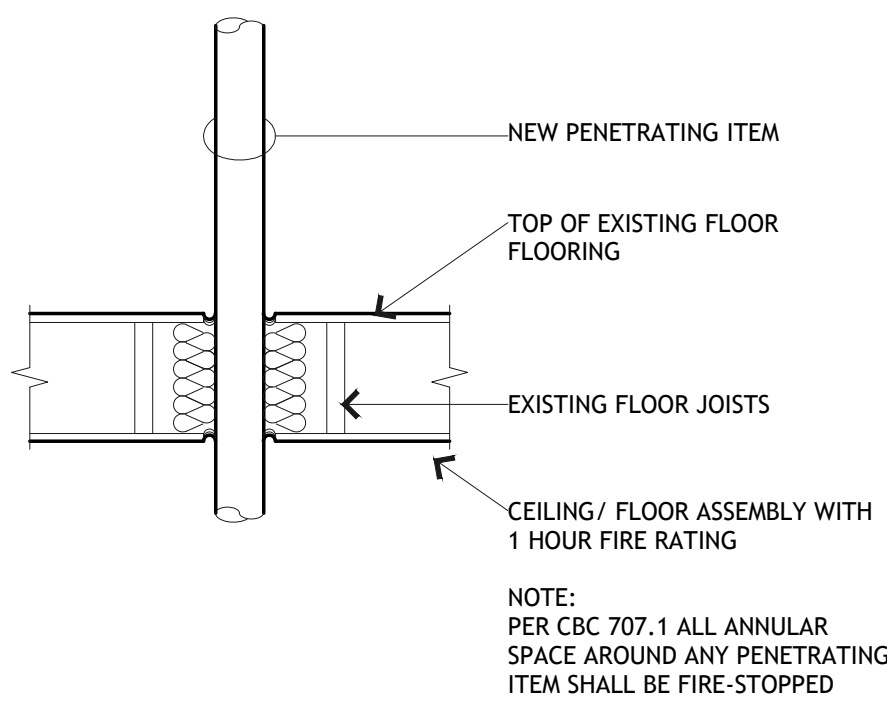
A5.0



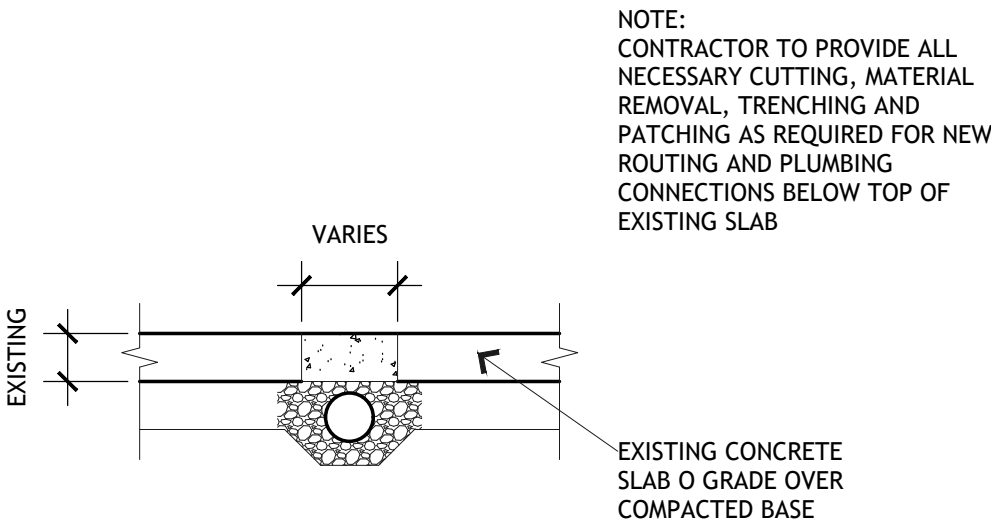
14 RAISED FLOOR IN EXISTING DINING ROOM
SCALE: 3/4" =1'-0"



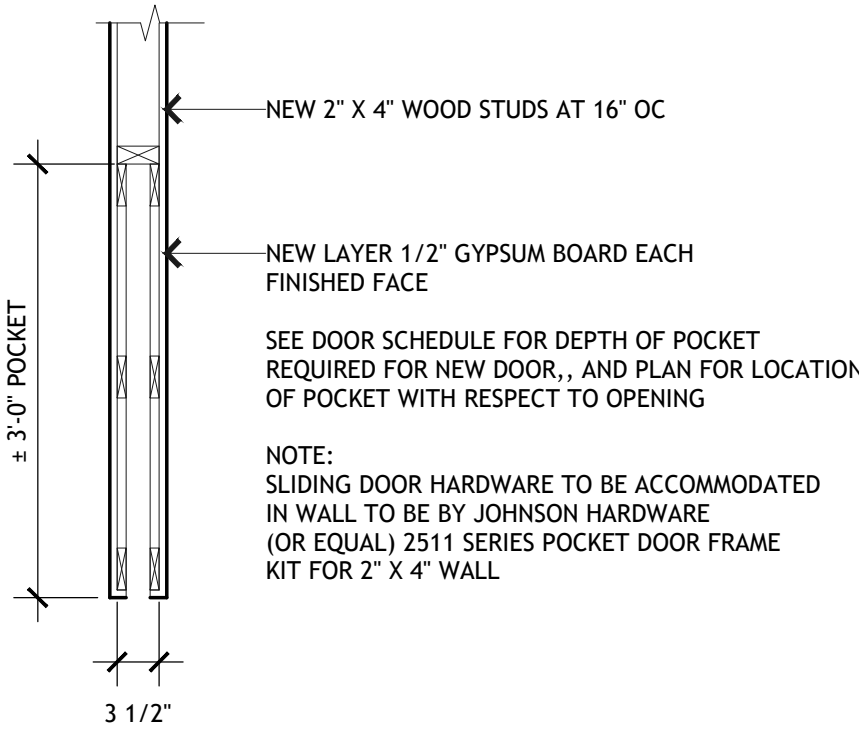
13 FURRING PARTITION (ONE FINISHED FACE)
SCALE: 3/4" =1'-0"



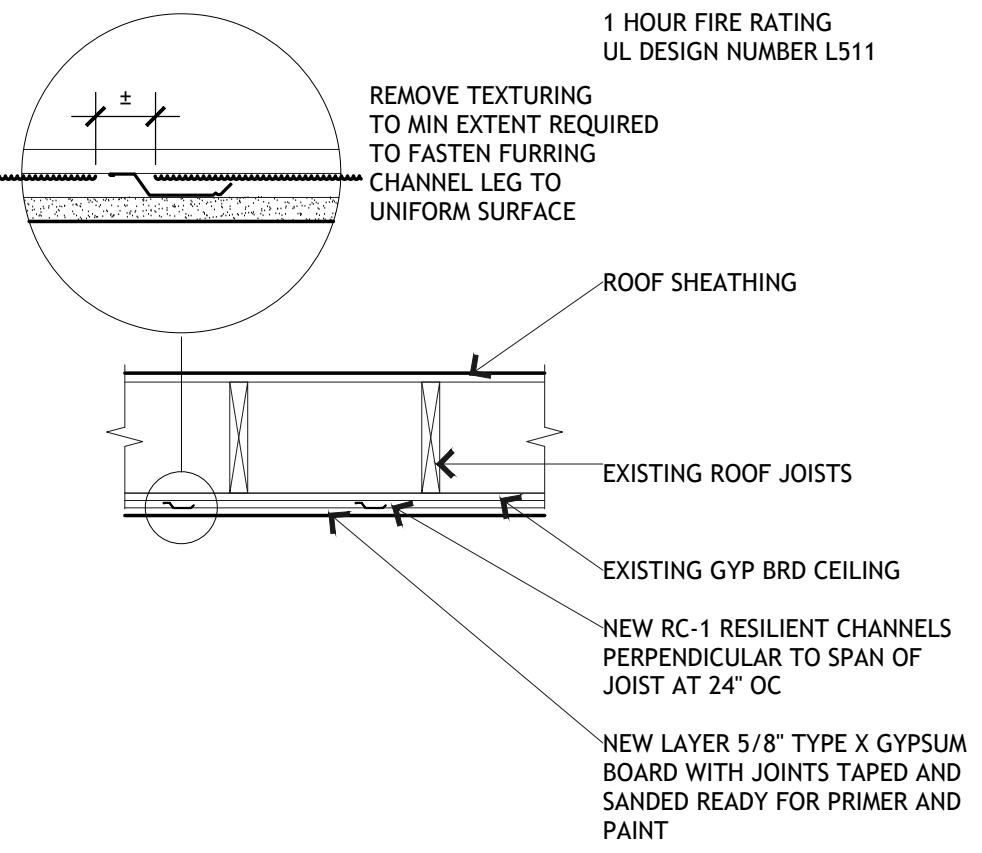
1 NEW PENETRATIONS OF EXISTING WOOD FRAMED
1 HR RATED CEILING/WALL ASSEMBLIES
SCALE: 3/4" =1'-0"



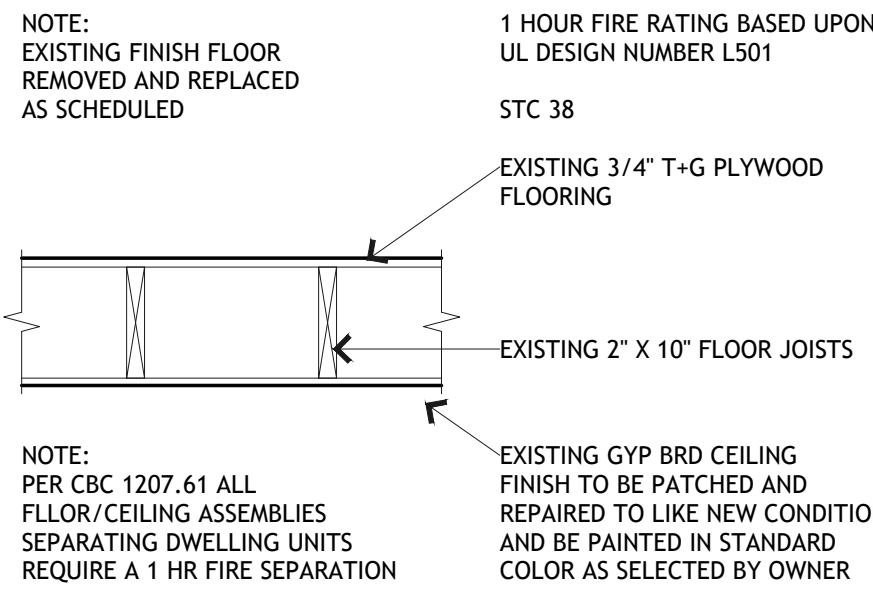
2 EXISTING CONCRETE FLOOR SLAB ON GRADE
1 HOUR RATED WITH STC 38
SCALE: 3/4" =1'-0"



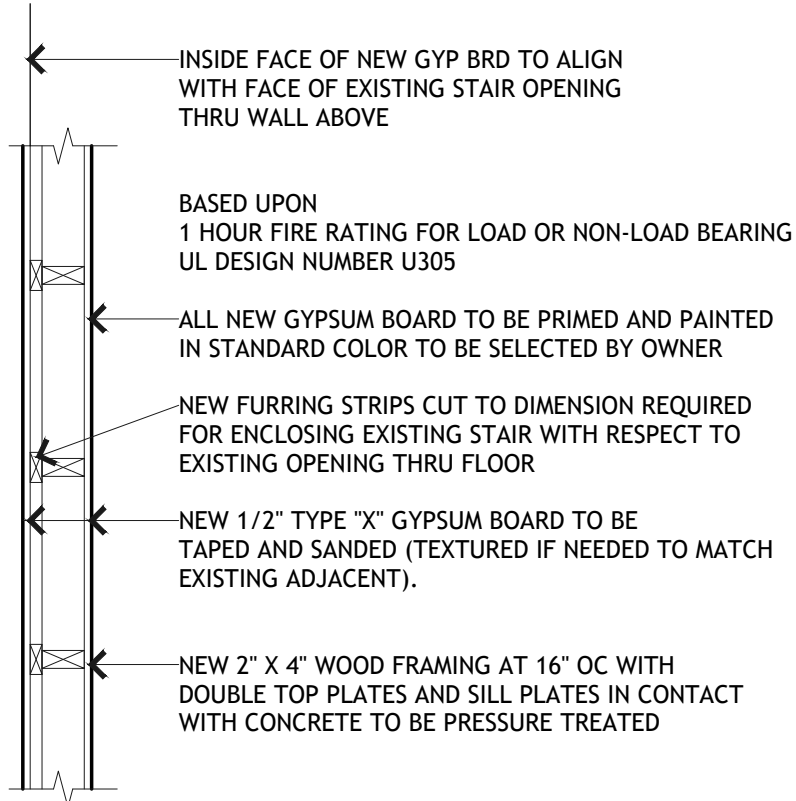
5 POCKET DOOR FOR 2" X 4" WALL
SCALE: 3/4" =1'-0"



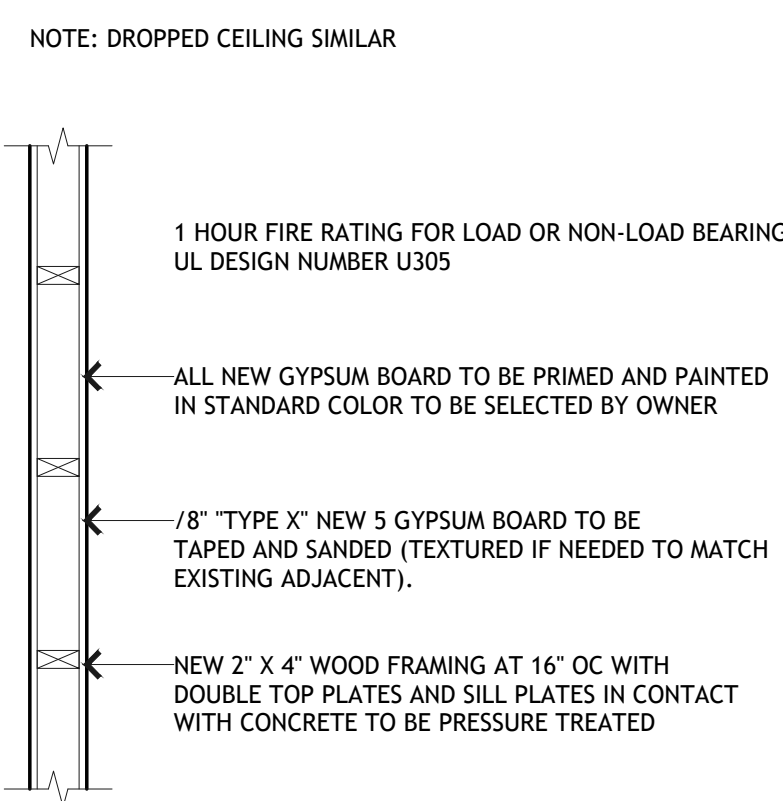
3 EXISTING WOOD FRAMED CEILING/FLOOR
1 HR RATED WITH STC 38 UPGRADED TO STC 50
SCALE: 3/4" =1'-0"



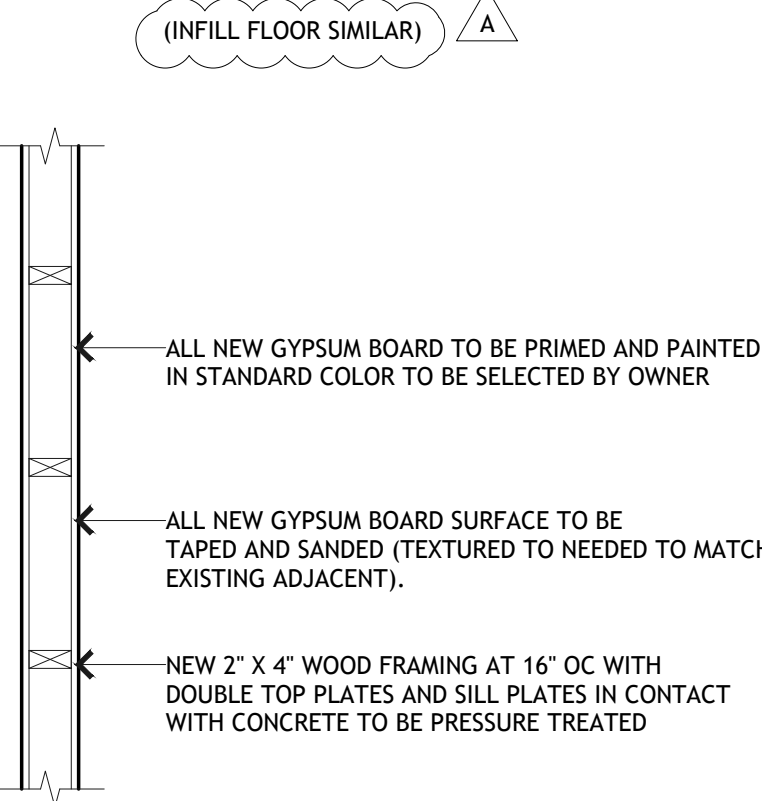
4 EXISTING WOOD FRAMED CEILING/FLOOR
1 HOUR RATED WITH STC 38
SCALE: 3/4" =1'-0"



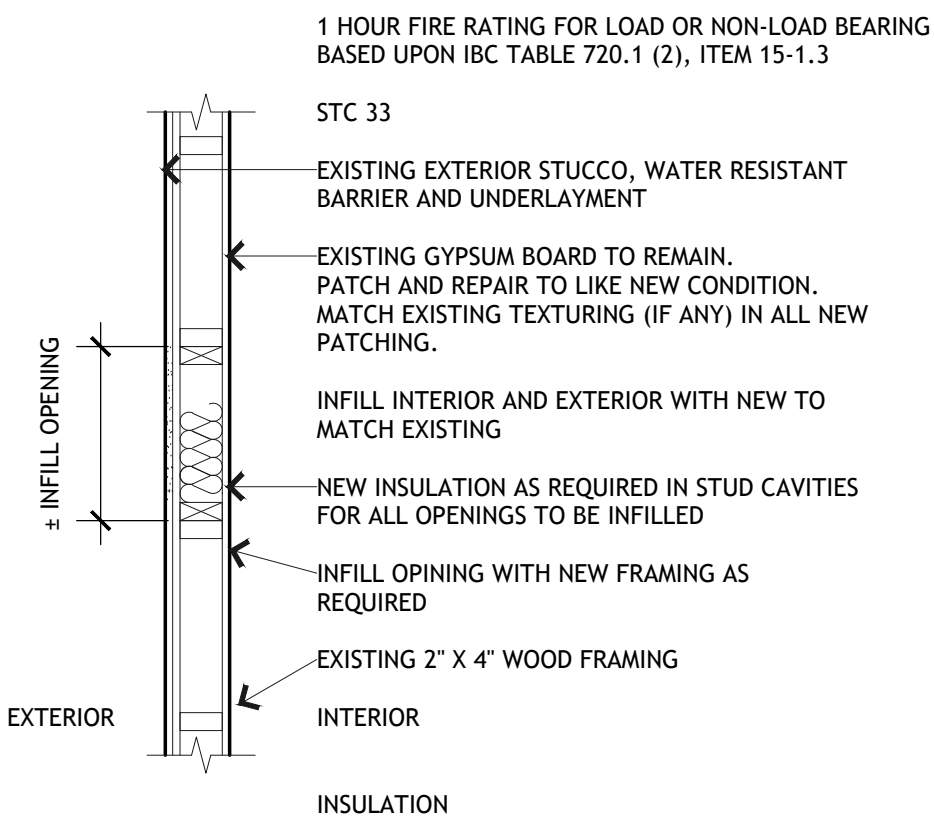
6 TYPICAL NEW NON-BEARING STAIR
INTERIOR PARTITION (1 HR RATED)
SCALE: 3/4" =1'-0"



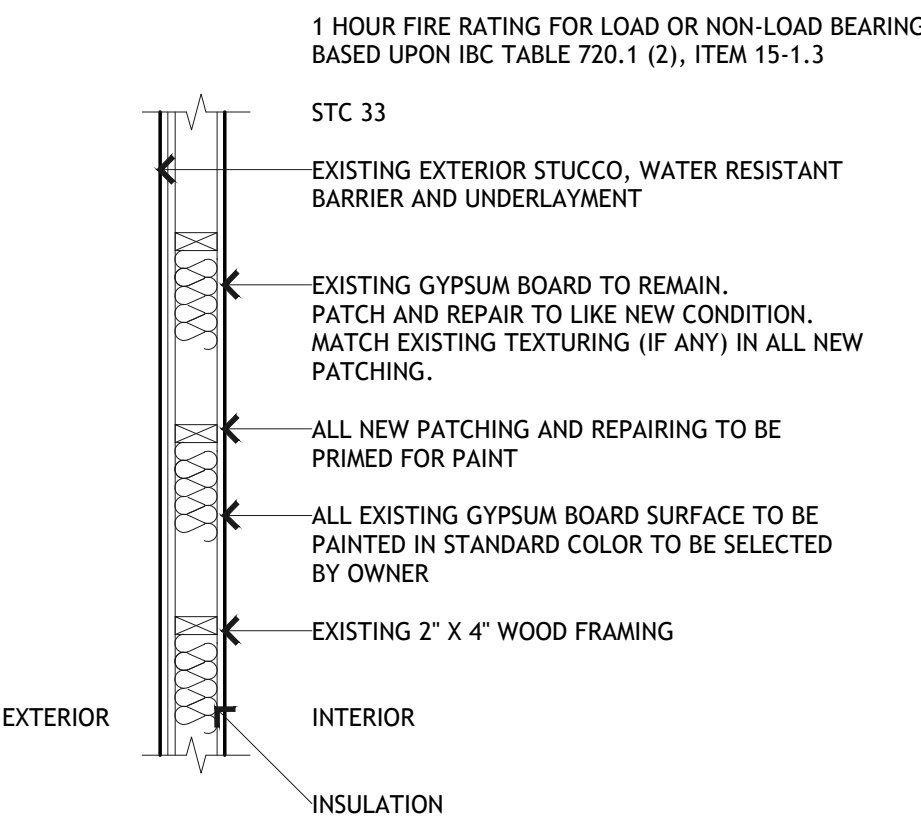
7 TYPICAL NEW BEARING OR NON-BEARING
INTERIOR PARTITION (1 HR RATED)
SCALE: 3/4" =1'-0"



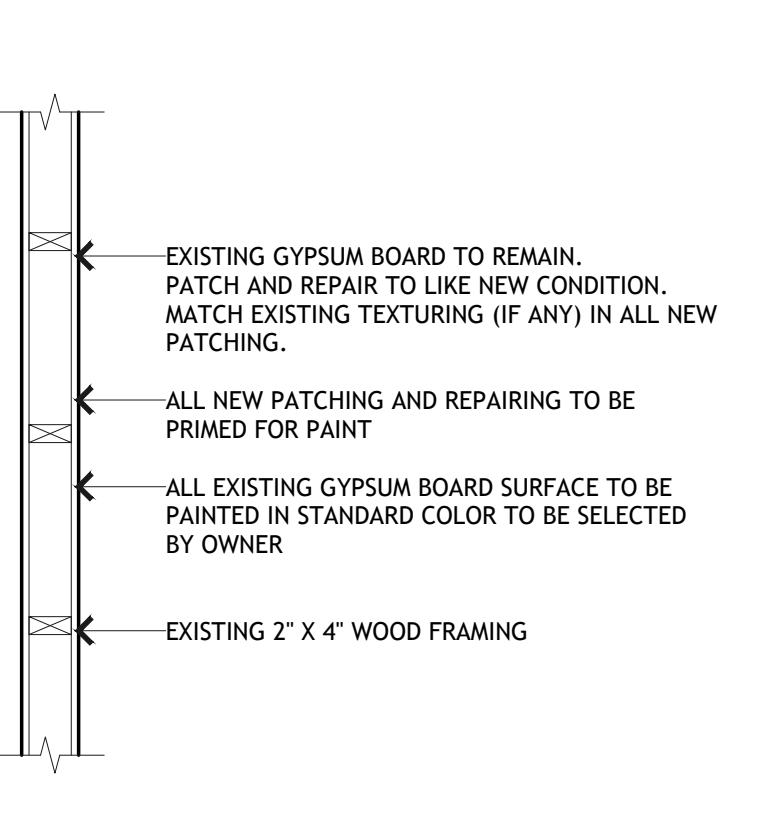
8 TYPICAL NEW BEARING OR NON-BEARING
INTERIOR PARTITION (NON-RATED)
SCALE: 3/4" =1'-0"



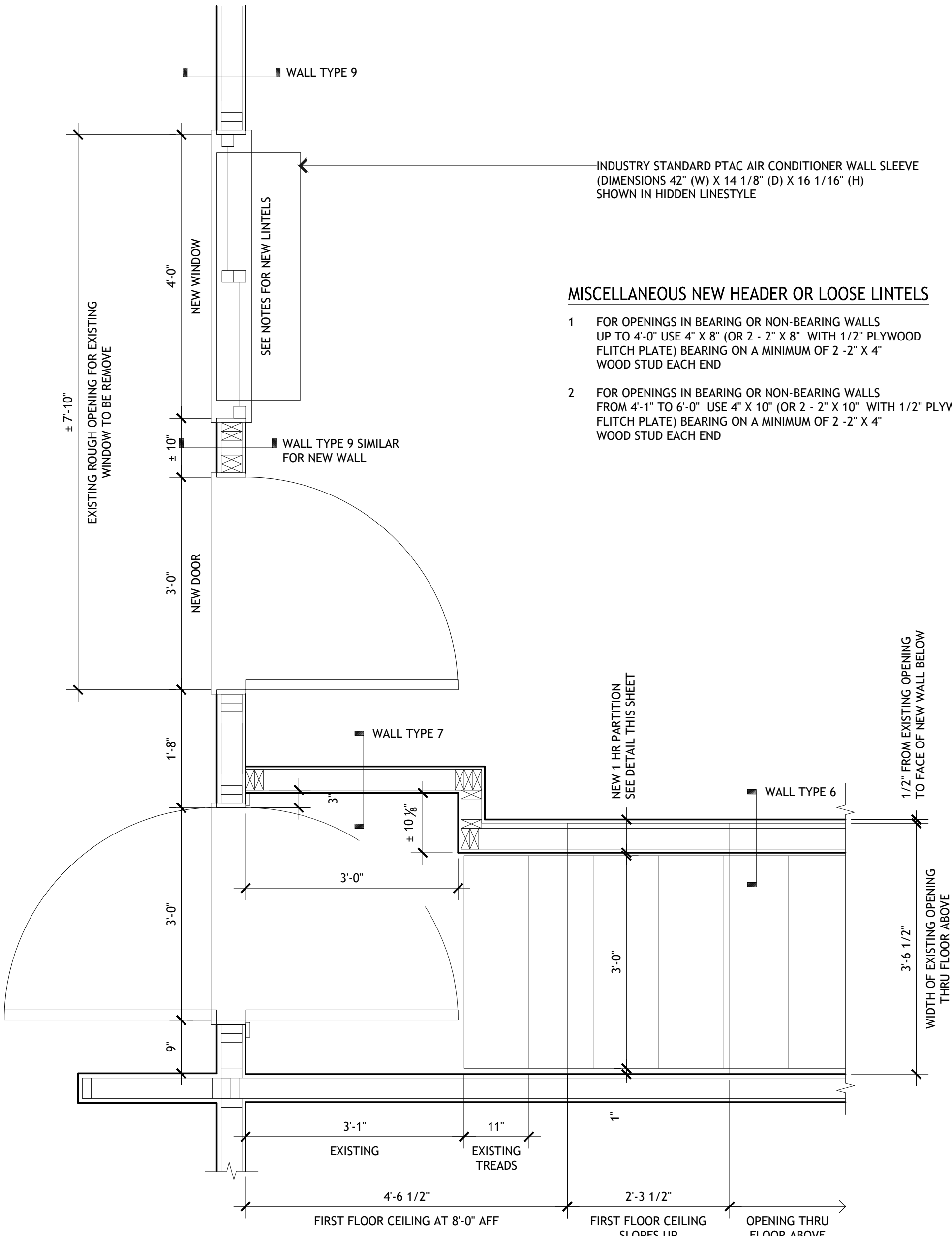
9 EXISTING EXTERIOR STUCCO WALL PATCHING
SCALE: 3/4" =1'-0"



10 TYPICAL EXISTING EXTERIOR STUCCO WALL
SCALE: 3/4" =1'-0"



11 TYPICAL EXISTING INTERIOR PARTITION
SCALE: 3/4" =1'-0"



12 DETAIL PLAN OF NEW EXTERIOR DOORS
SCALE: 3/4" =1'-0"

NOTES:

PER CALIFORNIA CODE OF REGULATIONS
TITLE8, SECTION 3225 (b) A EXIT
DOOR SHALL BE NOT LESS THAN 3'-0"
IN WIDTH AND 6'-8" HIGH.

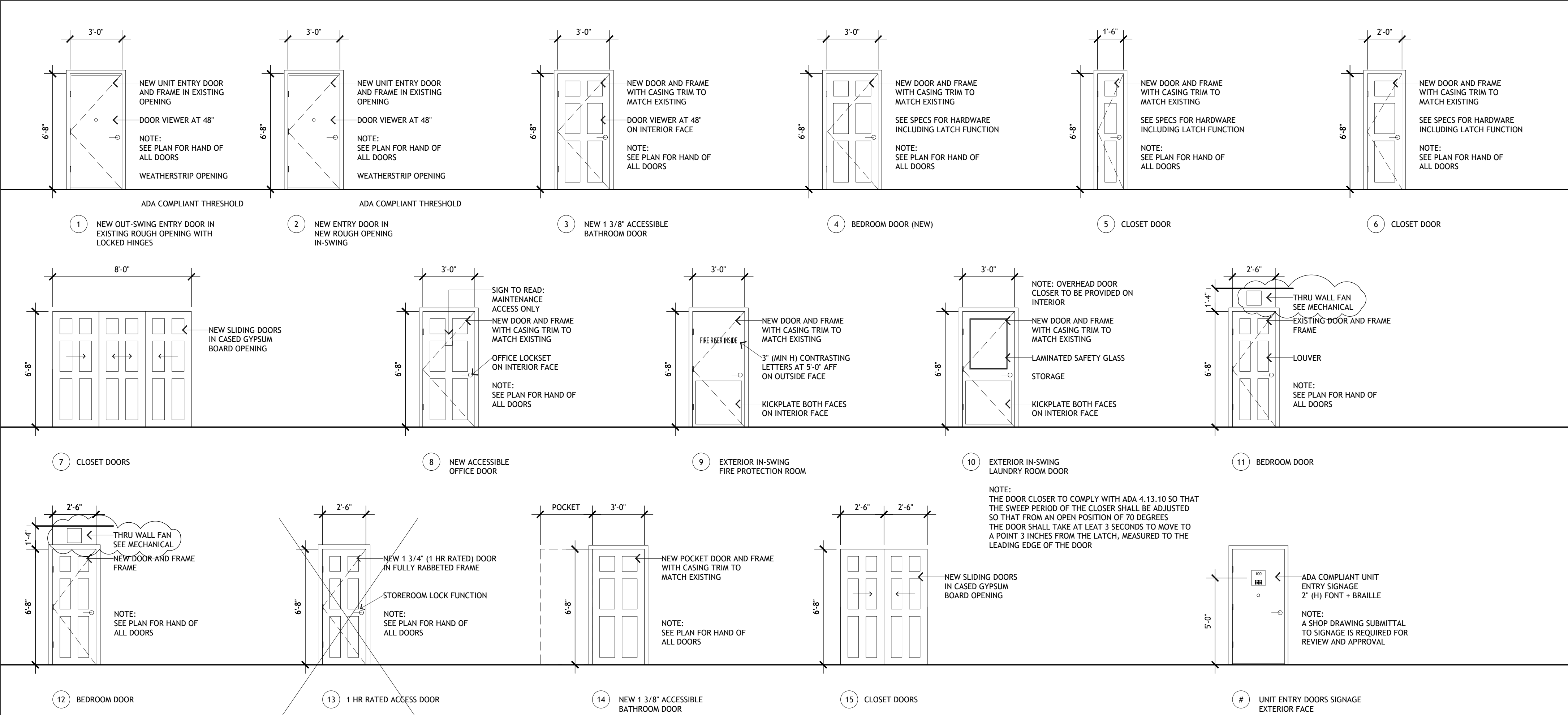
PER 3214 (1) STAIRS LESS THAN 44
MAY HAVE ONE HANDRAIL.

PER 3213 (B) (1) STAIRWAYS SERVING AN
OCCUPANT LOAD OF LESS THAN 50 MAY
BE 36" WIDE.

ALL ACCESSIBLE SPACE UNDER
EXISTING OF NEW STAIRS USED AS
A REQUIRED EXITWAY SHALL HAVE
WALLS, OR UNDERSTAIR SURFACES
PROTECTED WITH 5/8" TYPE X GYPSUM
BOARD

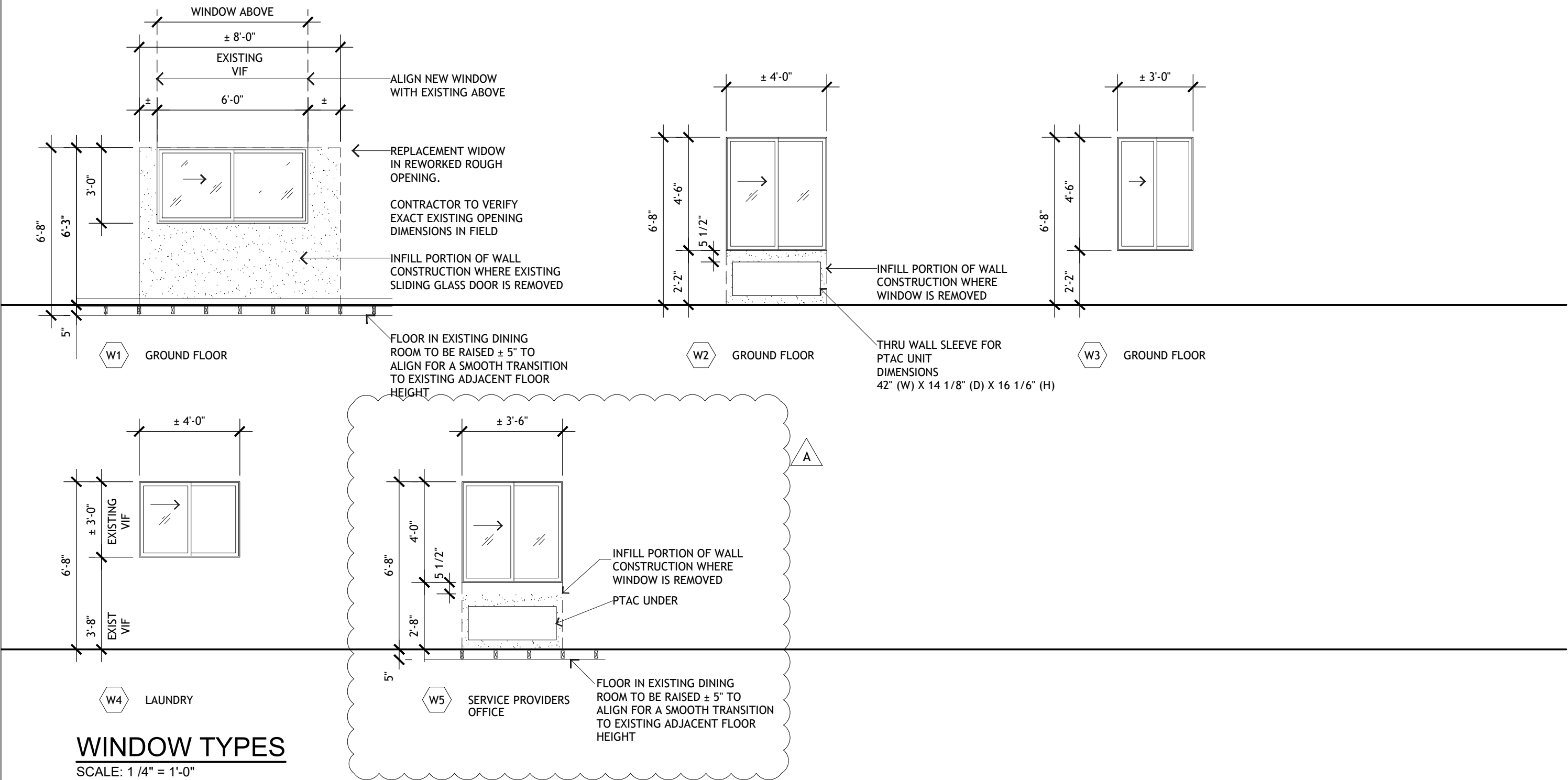
MISCELLANEOUS NEW HEADER OR LOOSE LINTELS

- FOR OPENINGS IN BEARING OR NON-BEARING WALLS,
UP TO 4'-0" USE 4" X 8" (OR 2" X 8" WITH 1/2" PLYWOOD
FLITCH PLATE) BEARING ON A MINIMUM OF 2" X 4"
WOOD STUD EACH END
- FOR OPENINGS IN BEARING OR NON-BEARING WALLS
FROM 4'-1" TO 6'-0" USE 4" X 10" (OR 2" X 10" WITH 1/2" PLYWOOD
FLITCH PLATE) BEARING ON A MINIMUM OF 2" X 4"
WOOD STUD EACH END



DOOR TYPES

SCALE: 1/4" = 1'-0"



WINDOW TYPES

SCALE: 1/4" = 1'-0"

WINDOW DEMOLITION NOTES

- 1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REINSTALLING ALL WINDOW COVERINGS TO ALLOW FOR NEW WORK.
- 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOVING ALL TENANT'S FURNITURE A MINIMUM OF 5' IN EVERY DIRECTION FROM THE WORK AREA
- 3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROJECTION OF THE EXISTING FINISHES AND THE TENANT'S FURNISHINGS.
- 4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING REFUSE REMOVAL AND THE END OF EACH WORK DAY.

WINDOW NOTES - CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO WINDOW ORDER

- 1 IN ADDITION TO REQUIRED MEANS OF EGRESS ALL EXISTING SLEEPING ROOMS HAVE ONE EMERGENCY EGRESS WINDOW WITH A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET (EXCEPT THE MINIMUM NET CLEAR OPENING FOR EMERGENCY ESCAPE AND RESCUE GRADE FLOOR OPENINGS COULD BE 5 SQUARE FEET). THE MINIMUM NET CLEAR OPENING DIMENSIONS ARE GREATER THAN 24 INCHES (H) AND 20 INCHES (W). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. THE MAXIMUM HEIGHT FROM THE FLOOR FOR EMERGENCY EGRESS WINDOWS IS NOT GREATER THAN 44 INCHES.
- 2 ALL WINDOWS IN THE DWELLING UNITS ABOVE THOSE AT GRADE SHALL BE EQUIPPED WITH A CHILDPROOF LATCH THAT WILL NOT ALLOW THE WINDOW TO BE OPENED MORE THAN 4 INCHES.
- 3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING ROUGH OPENINGS DIMENSIONS FOR NEW REPLACEMENT WINDOWS IN EXISTING OPENINGS AND MAKE ALL NECESSARY ADJUSTMENTS FOR THE FIELD VERIFIED DIMENSIONS IN THE SHOP DRAWING SUBMITTAL REQUIRED FOR REPLACEMENT WINDOWS.
- 4 WINDOW GLAZING IN HAZARDOUS LOCATIONS REQUIRE SAFETY GLAZING MATERIALS, EITHER TEMPERED GLASS OR LAMINATED SAFETY GLASS. WIRED GLASS IS NOT PERMITTED.
- 5 CONTRACTOR PRIOR TO WINDOW ORDER TO PROVIDE FIXED PANEL LOCATIONS AS REQ'D FOR CONFORMING VENTING CLEARANCES AT RELOCATED GAS METERS & NEW HOT WATER HEATER LOCATIONS.

GLAZING NOTES

- 1 THE FOLLOWING ARE CONSIDERED HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING:
GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

NEW PTAC UNITS

- 1 THE NEW OPENINGS THRU THE EXISTING EXTERIOR WALLS FOR THE SLEEVE AND PTAC UNIT ARE TO BE VERIFIED WIT RESPECT TO THE EXISTING SILL HEIGHT WITH A SHOP DRAWING SUBMITTAL FOR REVIEW AND APPROVAL.

NO WORK SHALL PROCEED WITHOUT PRIOR REVIEW AND APPROVAL OF SHOP DRAWING SUBMITTAL FOR THESE OPENINGS

DOOR SCHEDULE

#	LOCATION	DOOR SIZE	DOOR TYPE	HARDWARE FUNCTION	NOTES
1	UNIT ENTRY OUT-SWING	3'-0" X 6'-8" X 1 3/4" DOOR AND FRAME IN EXISTING OPENING	HINGED INSULATED FIBERGLASS	ENTRY	FURNISH WITH ADA CONFORMING LEVER HARDWARE, THRESHOLD AND DOOR VIEWER
2	UNIT ENTRY IN-SWING	3'-0" X 6'-8" X 1 3/4" DOOR AND FRAME IN NEW OPENING	HINGED INSULATED FIBERGLASS	ENTRY	FURNISH WITH ADA CONFORMING LEVER HARDWARE, THRESHOLD AND DOOR VIEWER
3	TYPICAL UNIT BATHROOM	3'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	FURNISH WITH ADA CONFORMING LEVER HARDWARE, AND ROBE HOOK ON INTERIOR FACE NOTE: FOR SINGLE USER TOILET ROOM DOORS IN COMMUNITY ROOM PROVIDE CLOSER AND PRIVACY LOCKSET
4	BEDROOM	3'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	
5	CLOSET	1'-6" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	
6	CLOSET	2'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	
7	CLOSET	SLIDING DOORS IN 8'-0" X 6'-8" CASED GYP BRD OPENING	SLIDING MASONITE	-	-
8	COMMUNITY ROOM OFFICE	3'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	OFFICE	-
9	FIRE SPRINKLER ROOM	3'-0" X 6'-8" X 1 3/4" DOOR AND FRAME IN NEW OPENING	HINGED INSULATED FIBERGLASS	VERIFY	VERIFY KEYING REQUIREMENTS WITH SAN BERNARDINO COUNTY FIRE DEPT
10	LAUNDRY	3'-0" X 6'-8" X 1 3/4" DOOR AND FRAME IN EXISTING OPENING	HINGED INSULATED FIBERGLASS	VERIFY	SEE NOTE ON COMPLIANCE REQUIREMENTS FOR CLOSER
11	BEDROOM	EXISTING DOOR AND FRAME	HINGED MASONITE	PASSAGE	
12	BEDROOM	2'-6" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	
13	NOT USED				
14	ACCESSIBLE UNIT BATHROOM	3'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	POCKET MASONITE	PASSAGE	FURNISH WITH ADA CONFORMING PULL
15	CLOSET	SLIDING DOORS IN 5'-0" X 6'-8" CASED GYP BRD OPENING	SLIDING MASONITE	-	-

NOTE

- 1 CONTRACTOR TO VIF ALL SIZES FOR NEW DOORS IN EXISTING ROUGH OPENINGS
- 2 PATCH AND REPAIR ALL STUCCO AS REQUIRED FOR NEW DOORS IN EXISTING OR NEW ROUGH OPENINGS

WINDOW SCHEDULE

#	WINDOWS DIMENSIONS CONTRACTOR TO VIF	OPERATION	GLAZING	LOCATION	NOTES
W1	REPLACEMENT WINDOW 3'-0" X 6'-0" IN EXISTING ± 4'-0" X 6'-8" SLIDING DOOR OPENING	FIXED/SLIDER	DUAL GLAZED WITH LOW E GLASS	FIRST FLOOR	CONTRACTOR TO VERIFY EXACT ROUGH OPENINGS AND PORTION TO BE INFILLED TO ALIGN WITH EXISTING WINDOW ABOVE LIGHT 14.0 SF VENT 7.0 SF
W2	REPLACEMENT WINDOW IN ± 4'-0" X 4'-6" ROUGH OPENING	FIXED/SLIDER	TEMPERED DUAL GLAZED WITH LOW E	FIRST FLOOR	LIGHT 14.8 SF VENT 7.4 SF
W3	REPLACEMENT WINDOW IN ± 3'-0" X 4'-8" ROUGH OPENING	FIXED/SLIDER	DUAL GLAZED WITH LOW E	FIRST FLOOR	LIGHT 10.6 SF VENT 5.3 SF
W4	REPLACEMENT WINDOW IN ± 3'-0" X 4'-0" EXISTING OPENING	FIXED/SLIDER	DUAL GLAZED WITH LOW E	LAUNDRY	LIGHT 9.4 SF VENT 4.7 SF
W5	NEW WINDOW IN ± (N) 3'-6" X 4'-0" OPENING	SLIDER	DUAL GLAZED WITH LOW E	SERVICE PROVIDERS OFFICE	LIGHT 9.68 SF VENT 5.21 SF

NOTES:

CONTRACTOR TO VIF ALL SIZES & REPLACEMENTS
(R) = REPLACE EXISTING
(N) = NEW

ALL NEW WINDOWS TO BE MILGRAD STYLINE. SEE SPECIFICATIONS.

THE OPERABLE PORTION OF THE WINDOWS IS TO BE PROTECTED WITH INSECT SCREENS

BASIS Architecture & Consulting

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SAN RAFAEL, CA 94901
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CHARLES PICK, ARCHITECT



LEGEND

	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18
3 PLAN CHECK RESPONSE	5-17-2018
A OWNER REVISIONS	6-21-2018

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

WINDOW AND DOOR SCHEDULES

A6.0