### A.C. AIR CONDITIONING LAMINATE ACOUS. ACOUSTICAL LAVATORY LAV. **ADJUSTABLE** ADJ. A.F.F. ABOVE FINISH FLOOR MAX. MAXIMUM **ALUMINIUM** M.B. MACHINE BOLT ANOD. ANODIZED M.C. MEDICINE CABINET **BOARD** MODIFIED BLDG. BUILDING MINIMUM BLOCKING MIRROR MISC. **MISCELLANEOUS** MTL. CAB. **CABINET** MTD. MOUNTED CEM. CEMENT CER. **CERAMIC** N.I.C. NOT IN CONTRACT C.G. **CORNER GUARD** NO. NUMBER C.L. **CENTER LINE** NTE NOT TO EXCEED CEILING N.T.S. NOT TO SCALE CLR. **CLEARANCE** CMU. **CONCRETE MASONRY UNIT** 0.C. ON CENTER COL. **COLUMN** O.D. **OUTSIDE DIAMETER** CONC. CONCRETE 0.H. OVER HEAD CONST. **CONSTRUCTION** PLATE CONTR. **CONTRACTOR** PLAM. PLASTIC LAMINATE C.T. **CERAMIC TILE** PLYWD. PLYWOOD CTSK. COUNTERSINK POUNDS/SQ. INCH PRESSURE TREATED DISABLED ACCESSIBLE QUARRY TILE DOUBLE RISER **DOUGLAS FIR** REPLACE **DETAIL** DIAGONAL REINF. REINFORCING DIAMETER REQUIRED **DIMENSION** REV. REVISED ROOM DOOR **ROUGH OPENING DRAWING** RAIN WATER LEADER D.S. **DOWNSPOUT** SAD SUPPLY AIR DUCT **EXISTING** SCHED. SCHEDULE EACH EA. SECTION ELEC. ELECTRICAL SHEET E.P. **ELECTRICAL PANEL** SHELF AND POLE ELEV. **BUILDING ELEVATION** SKYLIGHT EQ. **EQUAL** SIMILAR EXP. **EXPOSED** SPEC. SPECIFICATION EXT. **EXTERIOR** SQUARE F.FLR. FINISH FLOOR S.S. STAINLESS STEEL FLASH FLASHING S.S.D. SEE STRUCT. DRAWINGS F.O.F. S.M.D. **FACE OF FINISH** SEE MECH. DRAWINGS STD. F.O.S. STANDARD FACE OF STUD FR.C. FRENCH CASEMENT STL. STEEL FTG. STOR. STORAGE **FOOTING** STRUCT STRUCTURAL FIXED **GAUGE** SUSP. SUSPENDED GALV GALVANIZED T.B. **TOWEL BAR** T.O.S. GLASS TOP OF SLAB TGL. GR. GRADE TEMPERED GLASS T&G GWB. GYPSUM WALL BOARD **TONGUE AND GROOVE** TYP. TYPICAL HOT AIR REGISTER H.A.R. U.B.C. UNIFORM BUILDING CODE HDR. HEADER U.O.N. **UNLESS OTHERWISE NOTED** V.G. **VERTICAL GRAIN** HDWD. **HARDWOOD** VERTICAL **HORIZONTAL** HORZ. V.I.F. VERIFY IN FIELD HEIGHT HEATING, VENTILATING WATER CLOSET INTERIOR WD. WOOD **INSTALLATION** WATERPROOF INSUL INSULATION

# GOLDEN APARTMENTS RENOVATION & REMODEL

2312 N. GOLDEN AVE., SAN BERNARDINO, CA 92404

## PROPOSED WORK INCLUDES:

- CONVERSION OF EXISTING 19 TOWNHOUSES INTO 38 FLATS (TWO OF THE CONVERTED GROUND LEVEL FLAT UNITS TO BE DISABLED ACCESSIBLE).
- ALL NEW UNITS ARE FOR PERMANENT SUPPORTIVE HOUSING.
- FIRE SPRINKLER SYSTEM, ADD TO EACH BUILDING.
- SITE IMPROVEMENTS: REMOVE AND REPLACE EXISTING ASPHALT PAVING
- SITE ACCESS IMPROVEMENTS: PROVIDE CONFORMING PATH OF TRAVEL FROM DISABLED PARKING AND FROM STREET, TO GROUND LEVEL UNITS AND COMMON AREAS.
- LAUNDRY ROOM BUILDING 2 (2324 NORTH GOLDEN): EXISTING LAUNDRY ROOM TO BE REMODELED FOR ACCESSIBILITY WITH 3 SETS OF CLOTHES WASHERS AND DRYERS, WITH ONE SET MEETING ACCESSIBILITY REQUIREMENTS.
- BUILDING EXTERIORS: REPLACE ROOFING, REPAIR ROOF DRAINAGE, STUCCO AND EXTERIOR WOOD DRY ROT REPAIRS.
- ELECTRICAL TO BE UPGRADED IN EACH UNIT.
- PROVIDE (N) CATV, EACH UNIT.
- 1 EXISTING TOWNHOUSE TO REMAIN UNCHANGED FOR MANAGER'S UNIT.
- 1 EXISTING TOWNHOUSE TO BE CONVERTED FOR LOWER FLOOR LEASE AND
- (N) MEMBRANE ROOF WITH (N) GUTTERS AND DOWNSPOUTS AT TWO BUILDINGS.

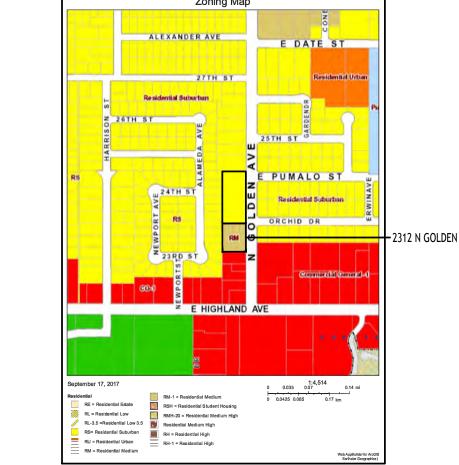
## ACCESSIBILITY NOTE: PROJECT IS PUBLIC HOUSING PER CBC DEFINITION.

SECTION 504 APPLIES - 5% OF UNITS TO BE DISABLED ACCESSIBLE PER CBC IIB.233 TWO (2) DISABLED ACCESSIBLE UNITS TO BE PROVIDED (CONVERSION TO FLATS). THE OTHER SIXTEEN (16) GROUND LEVEL FLATS TO BE CBC IIB COMPLIANT, ADAPTABLE EXCEPT BATHROOM (INFEASIBLE).

ONE (1) NEW VAN ACCESSIBLE PARKING STALL TO BE PROVIDED PER CBC IIB.208.2

ONE (1) ACCESSIBLE STALL REQUIRED FOR 1 -25 TOTAL STALLS.

TWENTY-ONE (21) EXISTING PARKING SPACES, LESS THAN ONE (1) PER UNIT.



# **ZONING MAP**

(3) TWO-STORY TOWNHOUSE APARTMENT BUILDINGS WITH ONE-STORY LAUNDRY / STORAGE BUILDINGS ATTACHED.

CONSTRUCTION TYPE: V-A (NOTE: AUTOMATIC FIRE PROJECTION SPRINKLERS TO BE ADDED)

21 EXISTING TOWNHOUSES (2BR/2 BA) = 1208 SQ. FT. EACH

PROPOSED UNITS:

**CONVERT 19 TOWNHOUSES INTO 38 FLATS:** 19 UPPER FLOOR (1BR/1 BA) = +- 708 SQ. FT. (TYPE B) 17 LOWER FLOOR (1BR/1 BA) = +-500 SQ. FT. (TYPE A) 2 LOWER LEVEL (1BR/1BA) = +- 500 SQ. FT. DISABLED UNIT (TYPE C) - (2 OF 38, 5%)

1 TOWNHOME TO REMAIN AS MANAGER'S UNIT = 1,208 S.F. 1 TOWNHOME TO BE CONVERTED TO COMMON AREA USE = 1,208 S.F.

21 COVERED STALLS

TOTAL = 21 PARKING SPACES PROPOSED PARKING:

21 COVERED STALLS (EXISTING NO CHANGE) 1 OPEN DISABLED VAN ACCESSIBLE SPACE TO BE ADDED 1 OPEN STALL TO BE ADDED TOTAL = 23 PARKING SPACES

SITE AREA: NO CHANGE - 1.08 ACRES EXISTING LOT COVERAGE: NO CHANGE - 13,200 (APPROX.) EXISTING BUILDING HEIGHT: NO CHANGE - 22 FEET (APPROX.) EXISTING BUILDING SETBACKS: NO CHANGE

PROJECT DATA

# Golden Apartments San Bernardino, L.P. HOUSING PARTNERS I 715 E. BRIER DRIVE SAN BERNARDINO, CA 92408 rruhl@hacsb.com + jdavid@hacsb.com BASIS ARCHITECTURE & CONSULTING INC

2130 4TH STREET, STE. B SAN RAFAEL, CA 94915 Architect: Charles Pick 415-457-6035 cpick@basisarch.com

MECHANICAL/PLUMBING/ELECTRICAL **GHASSAN SHREIM** AME DESIGN GROUP INC. 2062 BUSINESS CTR. DRIVE SUITE 250 **IRVINE, CA 92612** 

ghassan@amegroup.net

CIVIL ENGINEERING TODD MARTINELL LUDWIG ENGINEERING 109 EAST THRIRS STREET SAN BERNARDINO, CA 92410 909-884-8217

tmartinell@ludwigeng.com SCE-STERLING CONSULTING ENGINEERS 188 TECHNOLOGY DRIVE SUITE #A

**IRVINE, CA 92618** 415-457-6035 Principle: Bashar Abdelfattah 949-387-8650

bashar@sdsstructural.com

# **TEAM INDEX**

### R2 OCCUPANCY, PUBLIC HOUSING APPLICABLE CODES: 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE

2016 ENERGY STANDARDS 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

# CODE DATA

## AO COVER SHEET

# CIVIL DRAWINGS

- SHT-1 COVER SHEET, GENERAL NOTES, INDEX MAP
- SHT-2 DEMOLITION PLAN SHT-3 GRADING PLAN
- SHT-4 DRAINAGE PLAN
- SHT-5 FIRE PROTECTION SHT-6 DETAILS
- SHT-7 DETAILS SHT-8 CONDITIONS OF APPROVAL
- SHT-9 CONDITIONS OF APPROVAL SHT-10 SECTIONS

- A0.1 DIAGRAMMATIC GROUND FLOOR PLAN A0.2 DIAGRAMMATIC SECOND FLOOR PLAN
- A0.3 ROOF PLAN
- A0.4 CONDITIONAL USE PERMIT COPY
- A0.5 CONDITIONAL USE PERMIT COPY A0.6 CONDITIONAL USE PERMIT COPY
- A1.0 TYPICAL UNIT EXISTING PLANS DIMENSIONING AND NOTES A1.1 GROUND FLOOR ACCESSIBLE UNIT
- DETAIL AND, FINISH SCHEDULE AND NOTES A1.2 GROUND AND SECOND FLOOR NON-ACCESSIBLE UNITS
- DETAIL PANS, FINISH SCHEDULES AND NOTES A1.3 GROUND AND SECOND FLOOR EXISTING CONDITIONS AND DEMOLITION PLANS
- COMMUNITY ROOM AND MANAGER'S UNIT
- A1.4 GROUND AND SECOND REMODELED PLANS, FINISH SCHEDULES AND NOTES
- COMMUNITY ROOM AND MANAGER'S UNIT A1.5 DETAIL PLAN AND ELEVATION MAILBOXES
- SCHEMATIC PLANS FOR KITCHEN AND BATHROOM EXHAUST, CEILING SUSPENSION SPECIFICATION
- A1.6 BUILDINGS 1, 2 + 3 COMMON AREA PLANS
- A3.0 INTERIOR ELEVATIONS
- A3.1 INTERIOR ELEVATIONS
- A3.2 EXISTING AND REMODELED STAIR PLANS AND SECTIONS
- A4.0 TYPICAL EXTERIOR ELEVATIONS
- A4.1 GOLDEN AVENUE EXTERIOR ELEVATIONS
- A5.0 WALL DETAILS
- A5.1 DETAILS
- A5.2 ACCESSIBILITY DETAILS EXTERIOR A5.3 ACCESSIBILITY DETAILS INTERIOR
- A6.0 DOOR AND WINDOW SCHEDULES
- SGN-1 STRUCTURAL GENERAL NOTES
- S-1.0 GROUND LEVEL SLAB LAYOUTS S-2.0 SECOND FLOOR FRAMING PLANS
- S-3.0 UPPER ROOF EXISTING FRAMING PLANS
- M0.0 MECHANICAL LEAD SHEET
- MECHANICAL EQUIPMENT SCHEDULES AND DETAILS MECHANICAL GROUND PLAN
- MECHANICAL SECOND PLAN M1.3 MECHANICAL ROOF PLAN
- MECHANICAL UNIT PLANS MECHANICAL GROUND & SECOND FLOOR REMODELED PLANS
- MANAGERS UNIT & COMMUNITY ROOM M3.1 TITLE 24
- PO.0 PLUMBING LEAD SHEET
- P0.1 PLUMBING CALCULATIONS
- P1.1 PLUMBING GROUND FLOOR PLAN
- P1.2 PLUMBING SECOND FLOOR PLAN
- PLUMBING GROUND FLOOR ACCESSIBLE UNIT PLANS PLUMBING GROUND & SECOND FLOORS NON- ACCESSIBLE UNIT PLANS
- PLUMBING GROUND FLOOR DEMOLITION & REMODELED PLANS -MANAGERS UNIT. COMMUNITY ROOM & BLDG 2 COMMON AREA
- E-1.0 GENERAL NOTES. LEGEND AND FIXTURE SCHEDULE
- E-1.1 ELECTRICAL SITE PLAN
- E-2.0 BUILDING EXTERIOR LIGHTING PLAN E-2.1 BUILDING EXTERIOR LIGHTING AND ROOF PLAN
- E-3.0 ELECTRICAL UNIT PLAN
- E-3.1 ELECTRICAL MANAGER UNIT PLAN E-3.2 ELECTRICAL RECREATION UNIT PLAN
- E-4.0 UTILITY AND LAUNDRY ELECTRICAL PLAN E-5.0 ONE LINE DIAGRAM 1 E-5.1 ONE LINE DIAGRAM

# SHEET INDEX

THE FIRE PROTECTION CALCULATIONS AND DRAWINGS WILL BE A DEFERRED SUBMITTAL PREPARED BY THE FIRE PROTECTION CONTRACTOR.

THE CODE REQUIREMENTS FOR THE FIRE PROTECTION SYSTEM ARE DESCRIBED

(NFPA 13R FIRE SPRINKLER TYPE REQUIRED) ON SHEET FP-1

# DEFERRED SUBMITTALS



VICINITY MAP

**NORTH** 



PROJECT LOCATION:

BASIS Architecture & Consulting

2130 FOURTH ST

SAN RAFAEL, CA 94901

PHONE (415) 457-6035

FAX (415) 457-6036

P.O.BOX 150539

SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT

LEGEND

POST-MOUNTED LIGHT

PAVING IMPROVEMENTS

ANTICIPATED, V.I.F.

(E) WALL TO REMAIN

(E) WALL TO BE REMOVED

(N) INTERIOR PARTITION

(N) 1 HOUR RATED WALL

12/12/17

03/30/18

5-3-2018

5-17-2018

5-25-2018

DRAWING REVISION LOG

PROJECT NAME:

**GOLDEN** 

**APARTMENTS** 

**CONVERSION OF** 

TOWNHOMES TO FLAT

UNIT APARTMENTS

PLAN CHECK SUBMITTAL

2\ PLAN CHECK RESPONSE

PLAN CHECK RESPONSE

BID SET ISSUE

Δ1 PLAN CHECK RESPONSE

(N) GRADING

LED WALL PACK

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

**COVER SHEET** 

A0

# SCOPE OF WORK SUMMARY

# WASTE MANAGEMENT PROGRAM:

**ABBREVIATIONS** 

CONTRACTOR TO HAVE IN PLACE AT THE BEGINNING OF THE PROJECT A WASTE MANAGEMENT PROGRAM WITH COMPLIANCE FORMS AND SHEETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND SUBMITTING THE CONSTRUCTION WASTE MANAGEMENT WORKSHEETS NECESSARY TO DOCUMENTING COMPLIANCE WITH THE WASTE MANAGEMENT PLAN. RECYCLE AN/OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS IN ACCORDANCE WITH REGULATIONS OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. THE CONTRACTOR IS RESPONSIBLE WITH PROVIDING TO THE CITY OF SAN DIEGO THE ABOVE COMPLIANCE FORMS AND IDENTIFY THE RECYCLING & WASTE HAULING COMPANY.

# HAZARDOUS MATERIALS IN EXISTING CONSTRUCTION

BASIS ARCHITECTURE & CONSULTING ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO HAZARDOUS MATERIALS. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS. AN ABATEMENT PLAN FOR ASBESTOS CONTAINING MATERIALS IS TO BE PROVIDED BY THE OWNER.

# **GENERAL NOTES**

FOR GENERAL NOTES SEE SHEET A0.2

# **NOTES**



TYPICAL EXISTING BUILDING



TYPICAL EXISTING BUILDING FROM STREET

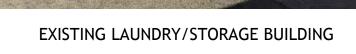
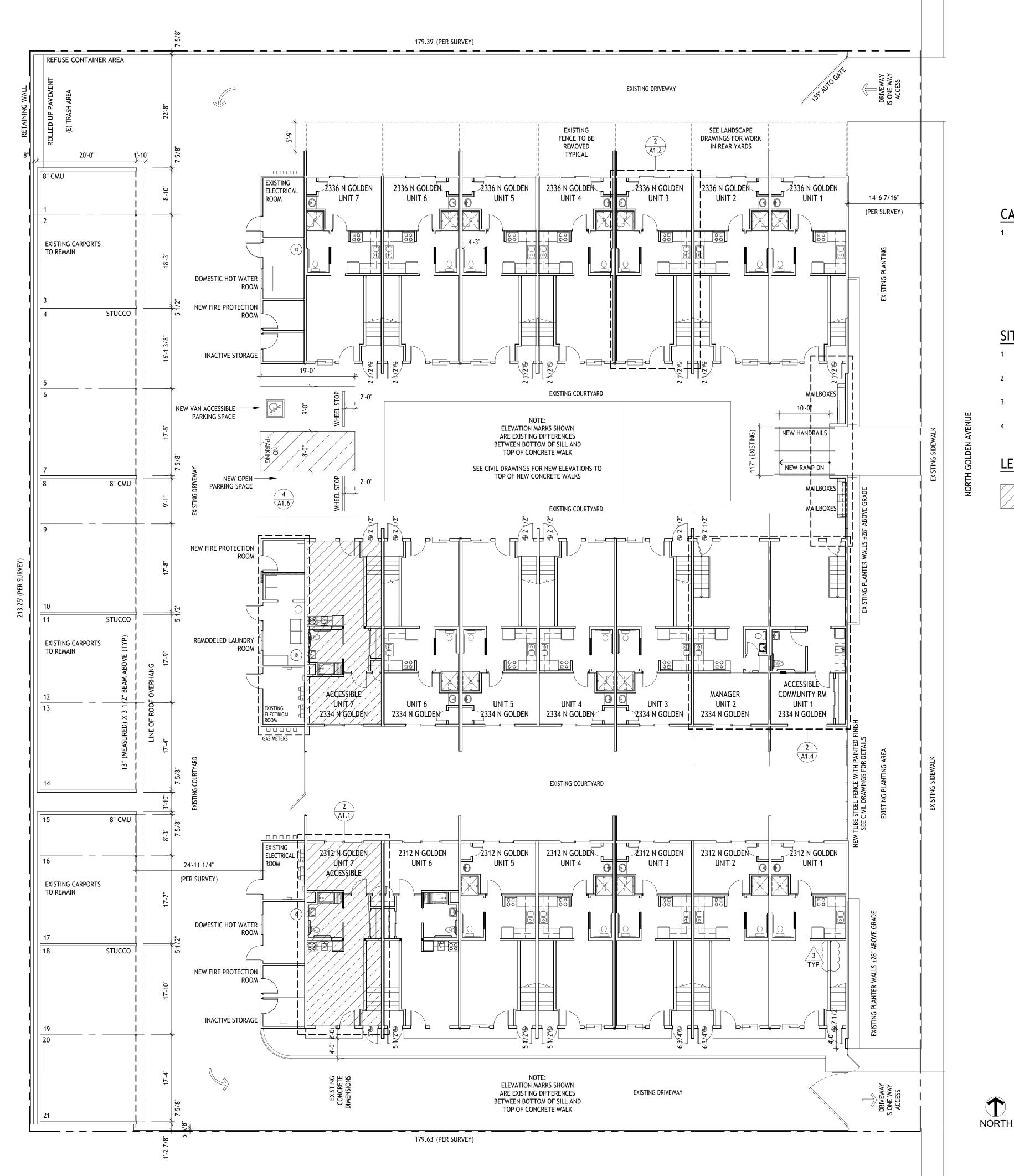


PHOTO - EXISTING CONDITIONS



# **CARPORTS**

- 1 THE CARPORTS ARE EXISTING TO REMAIN, EXCEPT AS NOTED: A THE CONTRACTOR SHALL EXAMINE ALL 13" (MEASURED DIMENSION) X 3 1/2" BEAMS AT THE ROOF OVERHANGS FOR EVIDENCE OF DRY ROT. EXISTING BEAMS FOUND WITH DRY ROT TO BE REMOVED AND
- B THE CONTRACTOR SHALL EXAMINE THE FASCIAS FOR EVIDENCE OF DRY ROT. MATERIAL FOUND WITH DRY ROT TO BE REMOVED AND REPLACED LIK-FOR-LKIE.
- C ALL NEW MATERIAL TO BE PRIMED AND PAINTED.

REPLACED LIKE-FOR-LIKE.

# SITE NOTES:

- 1 SEE CIVIL DRAWINGS FOR DESCRIPTION OF EXISTING PROPERTY LINES AND DIMENSIONS TO REMAIN WITH NO CHANGE
- 2 SEE CIVIL DRAWINGS FOR EXISTING AND NEW ELEVATIONS TO TOP OF EXISTING AND NEW CONCRETE IN SITE IMPROVEMENTS
- 3 THE SITE INFORMATION SHOWN ON THIS DRAWING IS FOR THE PURPOSE OF SHOWING THE GROUND FLOOR BUILDING PLANS (IN THEIR ENTIRETY) IN CONTEXT
- 4 ALL EXISTING UNLESS OTHERWISE NOTED: U.O.N.

# **LEGEND**

CROSS HATCHING INDICATES ACCESSIBLE UNIT ON ACCESSIBLE PATH OF TRAVEL

DIAGRAMMATIC GROUND FLOOR PLAN
SCALE: 3 / 32 = 1'-0"

2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
7/////////	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18
3 PLAN CHECK RESPONSE	5-17-2018

PROJECT NAME:

GOLDEN **APARTMENTS** 

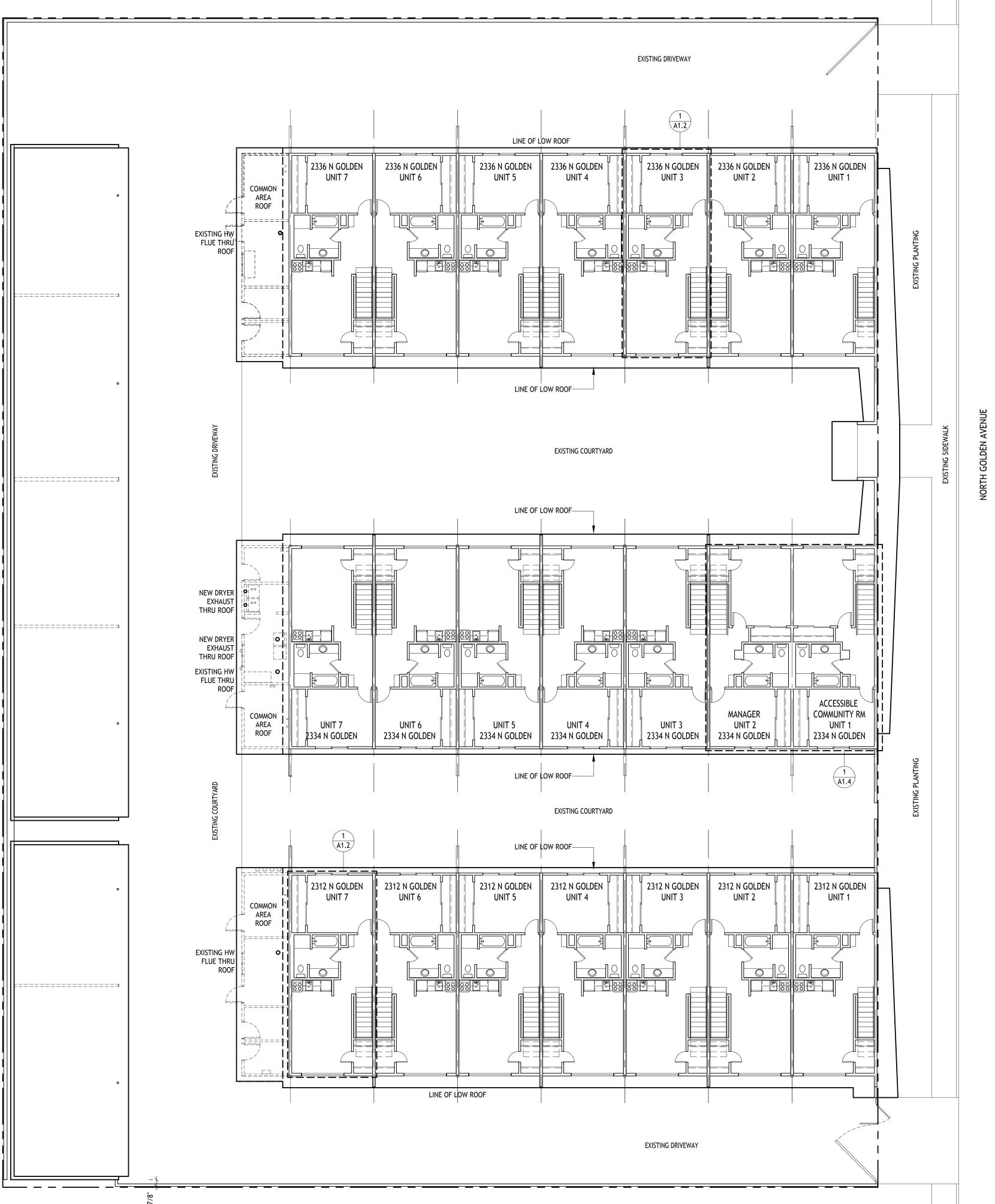
**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

DIAGRAMMATIC **GROUND FLOOR** PLAN



# **GENERAL NOTES**

1. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND ORDINANCES OF THE CITY OF SAN BERNARDINO, CALIFORNIA, INCLUDING:

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
UNIFORM HOUSING CODE
UNIFORM SECURITY CODE

HOURS OF CONSTRUCTION MONDAY - FRIDAY 7:00 AM - 5:00 PM

CONSTRUCTION NOISE GUIDELINES:
CONTRACTOR SHALL OBTAIN A COPY OF THE CONSTRUCTION NOISE GUIDELINES AND
BECOME SELF AWARE OF ALL REQUIREMENTS AND BE SOLELY RESPONSIBLE FOR
COMPLYING WITH THE GUIDELINES.

- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS & SHALL NOTIFY THE ARCHITECT OF ANY DIMENSIONS & CONDITIONS, WHICH DIFFER FROM THOSE SHOWN, BEFORE STARTING WORK. DIMENSIONS GIVEN AS (CLR.) ARE CODE REQUIRED & SHALL BE MAINTAINED.
- 3. ALL DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF STUD. ALL DIMENSIONS FROM EXISTING CONSTRUCTION ARE FROM FACE TO FINISH, UNLESS OTHER WISE NOTED (U.O.N.).
- 4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS FOR EXISTING CONDITIONS & ELEVATIONS MAY BE APPROXIMATE.
- 5. ALL INSTALLATIONS TO BE IN ACCORDANCE WITH BEST INDUSTRY STANDARDS & MANUFACTURER'S REQUIREMENTS, SEE ATTACHED SPECIFICATIONS.
- 6. ALL THE DRAWINGS SHOW REPRESENTATIVE & TYPICAL ATTACHMENTS, CONNECTIONS, FASTENINGS & ETC. SHALL BE PROPERLY SECURED IN CONFORMANCE WITH BEST PRACTICE.
- 7. THE PLANS ARE NOT BASED ON A SURVEY & ARE INTENDED ONLY TO SHOW GENERAL LAYOUT OF PROPERTY & WORK LOCATIONS. CONDITIONS SHOWN APPROXIMATE.
- 8. ALL WORK SUBJECT TO ASSOCIATED PROJECT MANUAL SPECIFICATIONS AND INSTRUCTIONS BY ARCHITECT.
- 9. ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED.
- 10. DRYER EXHAUST: SEE MECHANICAL SHEETS. EXHAUST TO BE +24" MIN HT FROM ROOF WITHIN 10'.

# DEFERRED SUBMITTALS

THE FIRE PROTECTION CALCULATIONS AND DRAWINGS WILL BE A DEFERRED SUBMITTAL PREPARED BY THE FIRE PROTECTION CONTRACTOR.

THE CODE REQUIREMENTS FOR THE FIRE PROTECTION SYSTEM ARE DESCRIBED ON SHEET FP-1

# BASIS & Consulting

2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



## LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
1 2 d 2 2 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

# DRAWING REVISION LOG

DIAWING ILVISION LOG		
PLAN CHECK SUBMITTAL	12/12/17	
Δ1 PLAN CHECK RESPONSE	03/30/18	

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

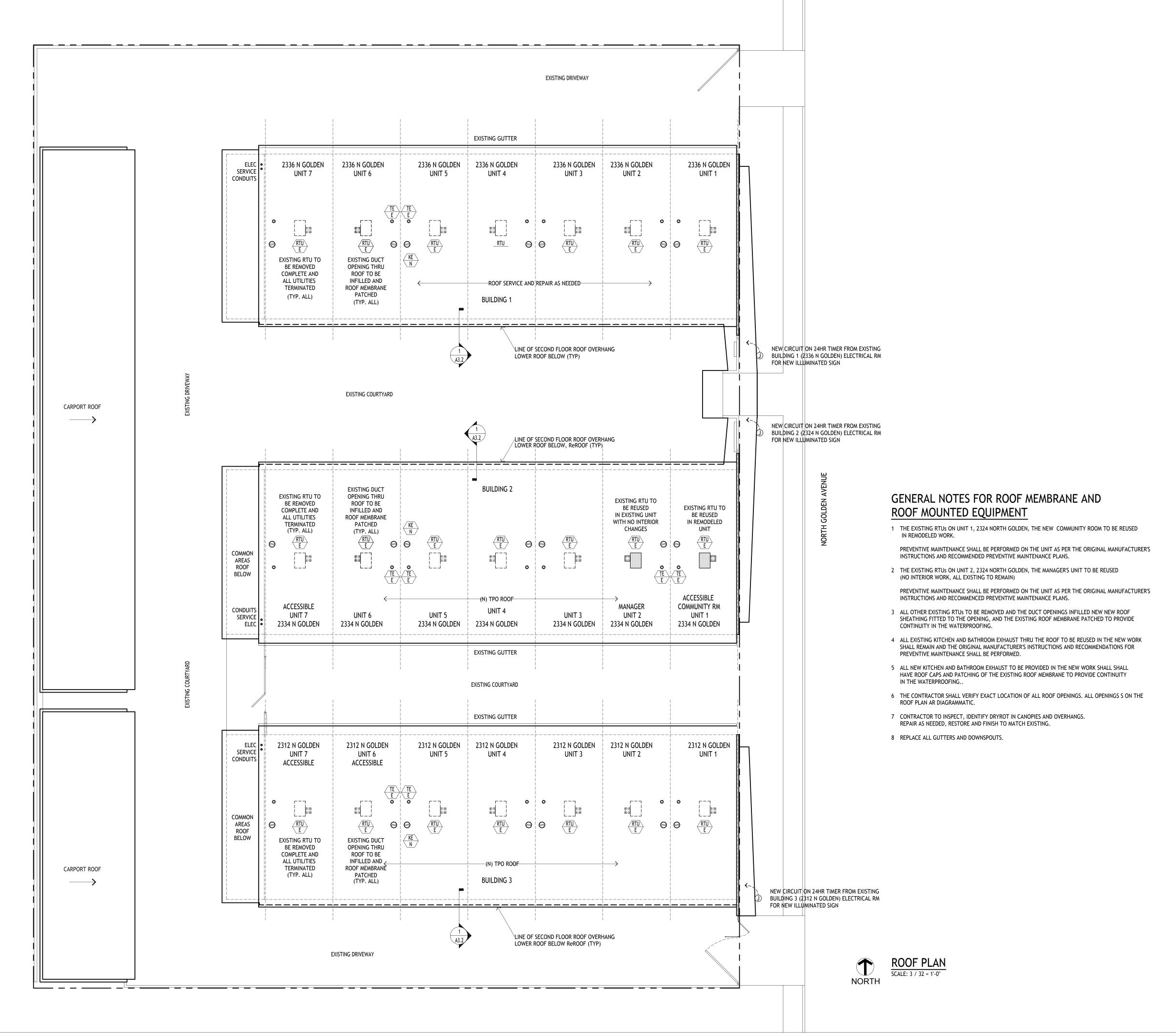
SHEET TITLE:

DIAGRAMMATIC SECOND FLOOR PLAN

A0.2

NORTH

DIAGRAMMATIC SECOND FLOOR PLAN
SCALE: 3 / 32 = 1'-0"



BASIS & Consulting

2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 A	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

**ROOF PLAN** 

A0.3

### RESOLUTION NO. 2017-039-PC

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SAN BERNARDINO, CALIFORNIA, ADOPTING A CATEGORICAL EXEMPTION AND APPROVING CONDITIONAL USE PERMIT 17-12 TO ALLOW THE DEVELOPMENT, ESTABLISHMENT AND OPERATION OF A SOCIAL SERVICES HOUSING FACILITY COMPRISED OF THIRTY-EIGHT (38) RESIDENTIAL UNITS, ONE (1) MANAGER'S UNIT AND AN ON-SITE SERVICE OFFICE ON A PARCEL CONTAINING APPROXIMATELY 1.08 ACRES LOCATED AT 2312, 2324 AND 2336 N. GOLDEN AVENUE (APN: 0155-183-27) WITHIN THE RESIDENTIAL MEDIUM (RM) ZONE.

WHEREAS, on May 16, 2017, pursuant to the requirements of \$19.04.010(2)(T) (Residential Zones Specific Standards - Social Services Uses/Centers) and §19.36.020 (Conditional Use Permit Applications) of the City of San Bernardino Development Code, an application for Conditional Use Permit 17-12 was duly submitted by:

Property Owner: County of San Bernardino Housing Authority

715 E. Brier Drive San Bernardino, CA 92408

Project Applicant: County of San Bernardino Housing Authority

715 E. Brier Drive San Bernardino, CA 92408

2312, 2324 and 2336 N. Golden Avenue Parcel Address:

0155-183-27 Lot Area: 1.08 acres

WHEREAS, Conditional Use Permit 17-12 is a request to allow the renovation of an existing twenty-one (21) unit apartment complex in order to develop, establish and operate a social services housing facility comprised of thirty-eight (38) residential units, one (1) manager's unit and an on-site service office; and

WHEREAS, the Planning Division of the Community Development Department has reviewed Conditional Use Permit 17-12 for consistency with the City of San Bernardino General Plan and compliance with the City of San Bernardino Development Code; and

WHEREAS, pursuant to requirements of §15060(c) of the California Environmental Quality Act, the Planning Division of the Community Development Department evaluated Conditional Use Permit 17-12; and

WHEREAS, on May 30, 2017, pursuant to the requirements §19.52.020 of the City of San Bernardino Development Code, the City gave public notice by advertising in the San Bernardino Sun, a newspaper of general circulation within the City of San Bernardino, and by mailing notices to the property owners within 500 feet of the subject property of the holding of a public hearing at which the Environmental Determination (Categorical Exemption) and Conditional Use Permit 17-12 would be considered; and

The location, size, design, and operating characteristics of the proposed

use are compatible with the existing and future land uses within the

general area in which the proposed use is to be located and will not create

significant noise, traffic or other conditions or situations that may be

objectionable or detrimental to other permitted uses in the vicinity or

adverse to the public interest, health, safety, convenience, or welfare of the

requirements that are applicable to location, height and setbacks for the

proposed social services housing facility. All access to the subject property

will be through points of access from N. Golden Avenue. Therefore, the

design of the project will ensure that the project will not create any

significant noise, traffic, or other conditions that would be detrimental or

objectionable to other uses in the vicinity of adverse to the public health,

The subject site is physically suitable for the type and density/intensity of

project being proposed as evidenced by project compliance with all

applicable Development Code Standards. The size of the project site is

adequate to accommodate the proposed improvements, in compliance with

There are adequate provisions for public access, water, sanitation, and

public utilities and services to ensure that the proposed use would not be

responsible for reviewing access and providing water, sanitation and other

public services to the site have had the opportunity to review the proposal,

and none indicated inability to serve the project site. Establishment of the

proposed social services housing facility, subject to Conditions of

Approval, will not be detrimental to public services or public health and

Finding of Fact: The proposed design is in compliance with the Development Code

Finding of Fact: The site is physically suitable for the type and density/intensity of the

Finding of Fact: The site has direct access off of N. Golden Avenue. All agencies

The approval of Conditional Use Permit 17-12 shall be subject to the following Conditions of

1. This approval is to allow the development, establishment and operation of a social

acres. The project site is located at 2312, 2324 and 2336 Golden Avenue.

services housing facility comprised of thirty-eight (38) residential units, one (1)

manager's unit and an on-site service office on a parcel containing approximately 1.08

safety, convenience, or welfare of the City.

the requirements of the Development Code.

detrimental to public health and safety.

CONDITIONS OF APPROVAL:

use being proposed.

Finding No. 6:

Finding No. 7

SECTION 3.

WHEREAS, on June 1, 2017, pursuant to the requirements of §19.36.040 of the City of San Bernardino Development Code, the Development and Environmental Review Committee reviewed the application and moved the Categorical Exemption and Conditional Use Permit 17-12 to the Planning Commission for consideration; and

WHEREAS, on June 13, 2017, pursuant to the requirements of \$19.52.040 of the City of San Bernardino Development Code, the Planning Commission held the duly noticed public hearing at which interested persons had an opportunity to testify in support of, or opposition to the Environmental Determination (Categorical Exemption) and Conditional Use Permit 17-12, and at which meeting the Planning Commission considered the Categorical Exemption and Conditional Use Permit 17-12; and

WHEREAS, pursuant to the requirements of Chapter 19.36 of the City of San Bernardino Development Code, the Planning Commission has the authority to take action on the Categorical Exemption and Conditional Use Permit 17-12.

NOW THEREFORE, the Planning Commission of the City of San Bernardino does hereby resolve, determine, find, and order as follows:

### SECTION 1. ENVIRONMENTAL DETERMINATION:

In accordance with §15060 (Preliminary Review) of the California Environmental Quality Act (CEQA), the Planning Division conducted an environmental evaluation in connection with proposed Conditional Use Permit 17-12 and concluded that Conditional Use Permit 17-12 is found to be exempt under §15061(b)(2) (Review for Exemption) of CEQA. Pursuant to §15332 (In-Fill Development Projects) of CEQA, a Class 32 Categorical Exemption consists of projects characterized as in-fill development projects meeting the conditions contained within §15332 of CEQA. The Planning Division staff has analyzed proposed Conditional Use Permit 17-12 and has determined that it is Categorically Exempt from CEQA pursuant to §15332 of the CEQA Guidelines due to the fact that: 1) the project is consistent the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; 2) the proposed development is located within the City limits on less than five (5) acres; 3) Conditions of Approval will be imposed to alleviate potential impacts; and, 4) there are no additional potential significant environmental impacts that may result from the proposed development, establishment and operation of the proposed uses.

Accordingly, pursuant to §15062 (Notice of Exemption) of CEQA, a Notice of Intent to Adopt a Categorical Exemption for Conditional Use Permit 17-12 was published on May 30, 2017 for the CEQA-mandated ten (10) day public review and comment period. In accordance with §15061 of CEQA, on June 13, 2017, during a duly advertised public hearing, the Planning Commission adopted the Class 32 Categorical Exemption for the approval of Conditional Use Permit 17-12. Subsequently, pursuant to §15062 of CEQA, the Planning Division of the City of San Bernardino was directed to file a Notice of Exemption with the San Bernardino County Recorder's Office.

FINDINGS FOR CONDITIONAL USE PERMIT 17-12:

Section 19.36.050 of the City of San Bernardino Development Code requires that Conditional Use Permit applications meet certain findings prior to the approval by the Planning Commission. Accordingly, the following findings are provided in support of the approval of Conditional Use Permit 17-12:

Finding No. 1: The proposed use is conditionally permitted within, and would not impair the integrity and character of the subject land use district and complies with all of the applicable provisions of the Development Code.

The proposed social services housing facility is a conditionally permitted use, pursuant to Development Code §19.04.010(2)(T)(C). The project site is located within the Residential Medium (RM) zone and is substantially surrounded by existing residential and commercial uses. The proposed development will complies with applicable Development Code standards. Further, the renovation and development of the subject property will enhance the appearance of the blighted and under-utilized property. Therefore, the project would not impair the integrity and character of the subject land use district or be detrimental to surrounding properties.

The proposed use is consistent with the General Plan.

The General Plan states the following Housing Goals:

- 1) "Facilitate the development of a variety of types of housing to meet the needs of all income levels in the City of San Bernardino." The proposed development, establishment and operation a social services housing facility will provide additional housing opportunities in the northeastern area of the City.
- 2) "Each of our neighborhoods will be enhanced and improved through an investment in people and aggressive revitalization programs." The proposed project squarely this visioning statement by proposing a modernization of a property at risk of blight and at the same time providing immediate relief to the pressing issue of homelessness.
- 3) "Developing an adequate and diverse supply of quality housing is one of our primary goals. Current and future residents need a balanced supply of housing." The proposed project will rapidly provide housing for presently homeless individuals in a useful quantity by re-using and re-purposing an existing, underutilized property.
- 4) "Due to the historic development pattern of San Bernardino, residential land uses are interspersed among or adjacent to uses that can generate adverse impacts." The existing property straddles the edge of a residential neighborhood and a heavily developed commercial zone. As such, it acts as a buffer or transition between the two disparate land uses. Preservation of the asset improves the neighborhood by mitigating the negatives of the disparate land uses. This project will minimize impact on surrounding land uses.

5) "Quality in-fill development shall be accorded a high priority in the commitment of City resources and available funding." By adding thirty-eight (38) units of affordable housing to an existing developed site, the City policy is realized with a minimum of impacts. Implementation of the proposed project will preserve the asset and add

unit count by taking advantage of a tight funding window. 6) "The Consolidated Plan identifies eight needs and priorities: ...1) Provision of rental assistance and preservation of existing affordable rental housing, 4) Assistance to homeless and special needs persons with supportive service programs, and 5) Expansion of affordable housing opportunities through new construction..." The proposed project allows the City to move quickly forward in meeting all of the above listed priorities, without any expansion of existing footprint or need for any new infrastructure.

Additionally, the proposed project is permitted within the Residential Medium (RM) zone, subject to the approval of a Conditional Use Permit with the appropriate Conditions of Approval and CEQA determination. Therefore the proposed project would be compatible with surrounding land uses and consistent with the General Plan.

Finding No. 3

Approval of the Conditional Use Permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and §19.20.030(6) of the Development Code.

Finding of Fact: In accordance with §15060(c) of the California Environmental Quality Act, the Planning Division of the Community Development Department evaluated Conditional Use Permit 17-12 request to allow the renovation of an existing twenty-one (21) unit apartment complex in order to develop, establish and operate a social services housing facility comprised of thirtyeight (38) residential units, one (1) manager's unit and an on-site service office within the Residential Medium (RM) zone and has determined that it is Categorically Exempt from CEQA pursuant to §15332 of the CEQA Guidelines and Conditions of Approval will be imposed to alleviate potential impacts. Therefore, the proposed project is in compliance with the requirements of the California Environmental Quality Act (CEQA) and §19,20,030(6) of the Development Code.

There will be no potentially significant negative impacts upon environmental quality and natural resources that could not be properly mitigated and monitored.

The project site is an in-fill lot and the surrounding area is urbanized. Therefore, no significant negative impacts on the environment are anticipated to result from the proposed social services housing facility.

PLAN CHECK SUBMITTAL 12/12/17 Δ1 PLAN CHECK RESPONSE 03/30/18

Public Works - Integrated Waste Management Division

18. During demolition/construction developer and contractor to use services through the City of San Bernardino's exclusive franchised hauler Burrtec Waste Industries

and slopes shall be provided to verify the accessibility requirements.

d. An On-Site improvement of the accessible parking spaces and accessible path of

travel may be incorporated as part of the Building plan submittal. Spot elevations

19. The site lacks refuse enclosures.

20. The proposed trash rooms must be approved by Community Development.

- 21. Work with the Building Division to modify the refuse enclosure to meet any ADA access requirements. ADA access requirements are in addition to the 8'x 15' interior dimensions for bin storage.
- 22. Provide 15' wide door openings for trash room.
- 23. Work with the Building Division to modify the refuse enclosure to meet any ADA access requirements. ADA access requirements are in addition to the 8'x15' interior dimensions for bin storage.
- 24. Additional service charges may be assessed by the franchised hauler.
- 25. If gated provide access by means of key, code, or remote.
- 26. Assembly Bill 341 Mandatory Commercial Recycling may apply. 27. Assembly Bill 1826 Mandatory Commercial Organics Recycling may apply.
- 28. Upon completion service is provided through the City of San Bernardino's exclusive franchised hauler Burrtec Waste Industries.

# **Building and Safety Division Conditions**

- 29. Plans submitted shall conform to the 2016 California Building Codes. Please note this will include the California Green Building Code.
- 30. Project shall confirm to Chapter 3 of California Building Code 2016.
- 31. Project shall also conform to the requirements of Chapter 4 of the California Building Code. Special Details Requirements Based on use of Occupancy.
- 32. Provide sprinkler requirements for the occupant load according to California Building Code 2016. Fire sprinklers are a Fire Department submittal.
- 33. Provide all disabled access requirements and complete details on plans prior to plan
- review submittal and conform to Chapter 11A. 34. There shall be a formal plan submittal prior to all issuance of permits.
- 35. Refer to Chapter 7 of the California Building Code for Fire/Smoke Protection Requirements.

# San Bernardino County Consolidated Fire District

- 36. Shall comply with all current Building, Fire Codes and Fire Department Standards requirements based on occupancy classification.
- 37. Any changes to this proposal shall require new Fire Department condition letter.
- 38. Any changes to the approved life safety system shall require plans to be submitted to the FD prior to construction including the following; (Fire Sprinklers, Fire Alarms, Underground water supply for fire protection, Cooking appliances & Hood protections.).

2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

> P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

POST-MOUNTED LIGHT

/ / ·	
	LED WALL PACK
	PAVING IMPROVEMENTS
4 8 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
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	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
7[[]]]]]]]]	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

CONDITIONAL **USE PERMIT** 

2. The project site shall be developed and maintained in accordance with the plans stamped June 13, 2017 (EXHIBIT "A"), approved by the Planning Commission, which includes a site plan, floor plans and exterior elevations, on file in the Planning Division; the Conditions of Approval contained herein; and, the City's Municipal Code regulations.

. Within two (2) years of the Conditional Use Permit approval, commencement of construction shall have occurred of the permit/approval shall become null and void. In addition, if after commencement of construction, work is discontinued for a period of one (1) year, then the permit/approval shall become null and void. However, approval of the Conditional Use Permit does not authorize commencement of construction. All necessary permits must be obtained prior to commencement of specified construction activities included in the Conditions of Approval.

# **EXPIRATION DATE: June 13, 2019**

- 4. The review authority may grant a time extension, for good cause, not to exceed twelve (12) months. The applicant must file an application, the processing fees, and all required submittal items, thirty (30) days prior to the expiration date. The review authority shall ensure that the project complies with all Development Code provisions in effect at the time of the requested extension.
- 5. In the event this approval is legally challenged, the City will promptly notify the applicant of any claim, action or proceeding and will cooperate fully in the defense of this matter. Once notified, the applicant agrees to defend, indemnify and hold harmless the City of San Bernardino (City), any departments, agencies, divisions, boards or commission of the City as well as predecessors, successors, assigns, agents, directors. elected officials, officers, employees, representatives and attorneys of the City from any claim, action or proceeding against any of the foregoing persons or entities. The applicant further agrees to reimburse the City for any costs and attorneys' fees which the City may be required by a court to pay as a result of such action, but such participation shall not relieve applicant of his or her obligation under this condition. The costs, salaries, and expenses of the City Attorney and employees of his office shall be considered as "Attorney's fees" for the purpose of this condition. As part of the consideration for issuing this Development Permit, this condition shall remain in effect if the Development

# Planning Division

- 6. The applicant, facility operator, and/or property owner shall submit Operational, Management and Security Plans for the social services housing facility to the Planning Division for review and approval prior to the issuance of any grading or building permit.
- 7. Hours of operation for the on-site service office shall be restricted to between the hours of 8:00 a.m. to 5:00 p.m., seven (7) days a week.
- 8. This approval shall not permit drop-in "shelter style" or "itinerant style" overnight stay.
- 9. Public distribution of food, clothing or any other items shall not be permitted.

Permit is rescinded or revoked, whether or not at the request of applicant.

17. On-site Improvements

application.

- a. The design of Building Plan shall comply with all requirements of the California Building Code, Title 24, relating to accessible parking and accessibility, including retrofitting of existing building access points for accessibility, if applicable.
- 5. An accessible path of travel shall be provided from the public way to the building entrance. All pathways shall be paved and shall provide a minimum clear width of four (4) feet. Where parking overhangs the pathway, the minimum paved width
- c. The A BMP Plan shall be submitted to Land Development for approval prior to Building Permit issuance for any on-site or exterior improvement.

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monitoring system. 11. Within six (6) months from the issuance of a Certificate of Occupancy, for a period of

10. The social services housing facility shall provide for 24-hour security personnel to

monitor the property, seven (7) days a week and shall be equipped with a security camera

two (2) years, the Planning Division shall conduct an inspection of the Business operations and property to ensure compliance with the Conditions of Approval to the satisfaction of the Community Development Director. In the event that an unresolved issue continues to exist, the enforcement of the Conditions of Approval shall comply with Chapter 19.46 of the Development Code related to Enforcement of Provisions, as applicable applied. Such remedy may require the applicant to submit an application, and appropriate application fee, for reconsideration by the Planning Commission.

12. If the property is sold by the Housing Authority of the County of San Bernardino, the City shall review and approve the new owner and operator.

13. A six (6) foot high masonry wall shall be maintained along the north, south and west property lines.

14. If the colors of the buildings or other exterior finish materials are to be modified beyond the current proposal and improvement requirements, the revised color scheme and/or finish materials shall be reviewed and approved by the Planning Division prior to

commencement of work. 15. Minor modification to the plans shall be subject to approval by the Director through the Minor Modification Permit process. Any modification which exceeds 10% of the allowable measurable design/site considerations shall require the refilling of the original

16. The facility operator and property owner shall be responsible for regular maintenance of the project site. The site shall be maintained in a clean condition and free of litter and any other undesirable material(s). Vandalism, graffiti, trash and other debris shall be removed

# **Land Development Division Conditions**

and cleaned up within 24 hours of being reported.

shall be 6.5 feet.

- 39. Monitored fire sprinkler systems is required for the proposed building(s). Plans shall be submitted to the FD prior to construction. PER CFC 903.2.1.1
- 40. Knox Box/Key Box is required, and shall be provided and installed in accordance with CFC & Fire Department Standard.
- 41. An approved on-site fire protection water system, in accordance with Fire Department Standard is required. The system is required to be in place and serviceable prior to building construction.
- 42. Fencing, walls or car ports shall not obstruct Fire Department access to fire hydrants and
- 43. All access gates shall require mechanical means for opening in event of power failure, shall not impinge on required clear width when fully open, and shall be equipped with Knox Box lock actuation devices.
- 44. Interior/exterior Fire Department access roadways/fire lanes shall be required per Fire Department Standard. If gates installed, must comply with Fire Department Standards. 45. Storage containers may not block Fire Department access.
- 46. Premise and Building identification and addressing shall be a minimum of 12 inch in
- 47. Fire sprinklers are required. T.I. in sprinklered buildings requires a separate submittal. Please submit all plans to county Fire Department.
- 48. Fire Riser room is required. See County Standard requirements. 49. Fire extinguishers are required throughout. All spacing shall meet the CFC for spacing
- 50. If a fire suppression system is installed a separate submittal is required. (Hood systems,
- 51. Annual fire department is required. Contact 909-918-2201 for information.

SECTION 4. PLANNING COMMISSION ACTION:

The Planning Commission hereby takes the following action:

- 1. Adoption of Planning Commission Resolution No. 2016-039:
- a. Adopting the Categorical Exemption (§15332: In-Fill Development Projects) for Conditional Use Permit 17-12, in accordance with §15061(b)(2) of the California Environmental Quality Act, and directing the Community Development Director to prepare and file with the Clerk of the County of San Bernardino a Notice of Exemption as provided under Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062; and; and
- b. Approving Conditional Use Permit 17-12, subject to the aforementioned Conditions of Approval.

PASSED, APPROVED AND ADOPTED this 13th day of June 2017.

San Bernardino Planning Commission

ATTEST:

City of San Bernardino, California

## **CERTIFICATION:**

I, Melina Perez-Ramirez, Recording Secretary of the Planning Commission of the City of San Bernardino, California, do hereby certify that the foregoing Resolution, No. 2016-039, was duly adopted by the Planning Commission of the City of San Bernardino, California, at a regular meeting thereof held on the 13<sup>th</sup> day of June 2017, by the following vote, to wit:

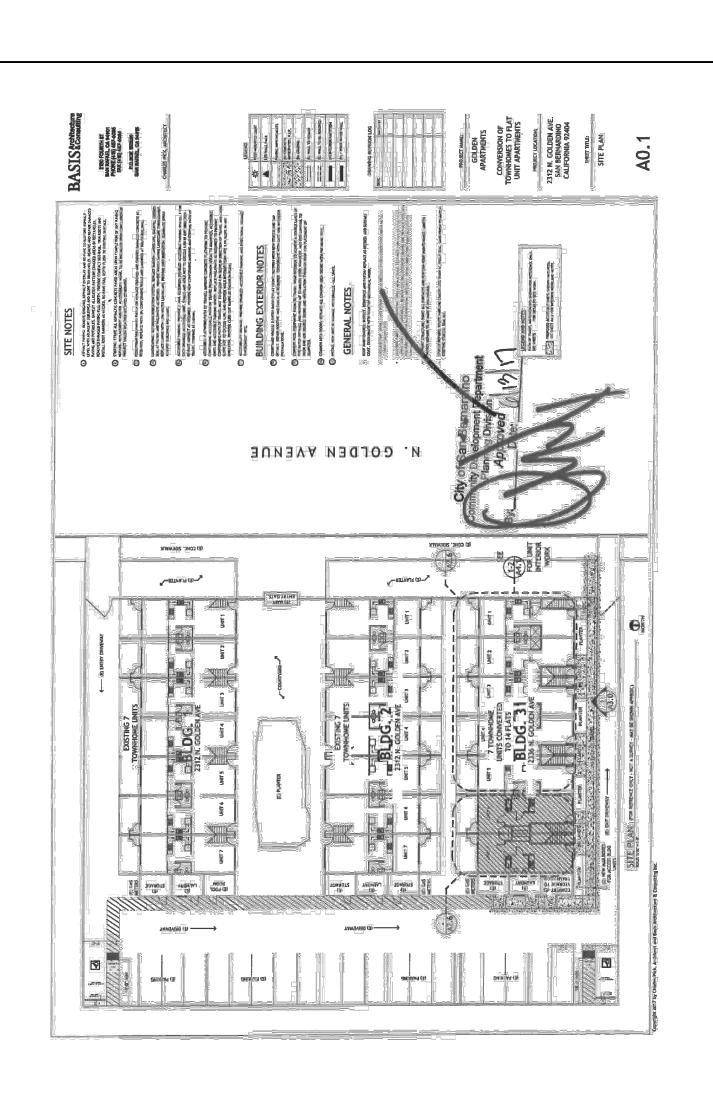
AYES: Machen, Gallaher, Liang, Lopez, Jones

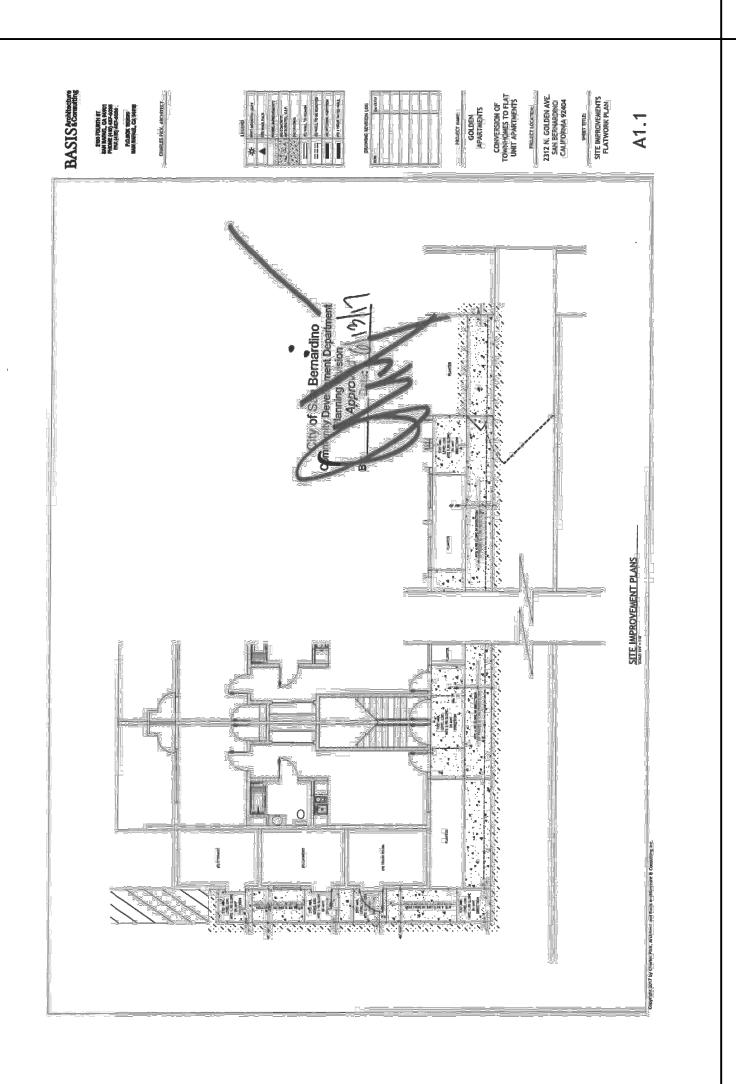
NOES: Eble

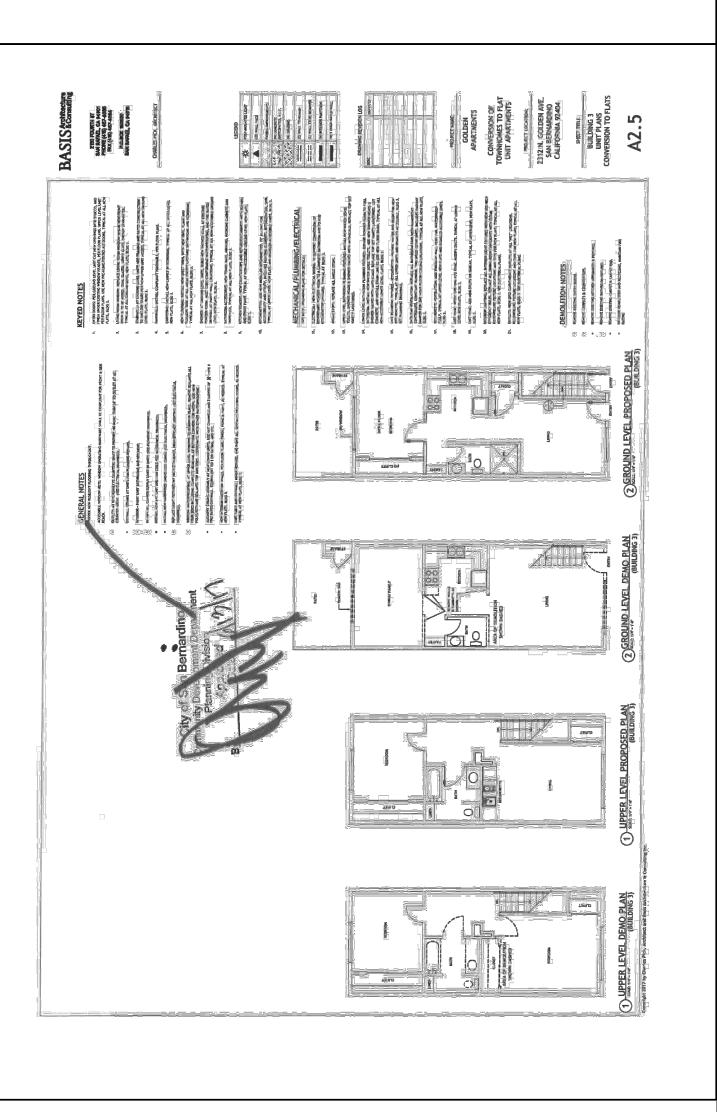
ABSENT: Durr, Quiel, and Earp

ABSTAIN: None

**EXHIBIT "A"** APPROVED PLANS







2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
***************************************	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

**PROJECT NAME:** 

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

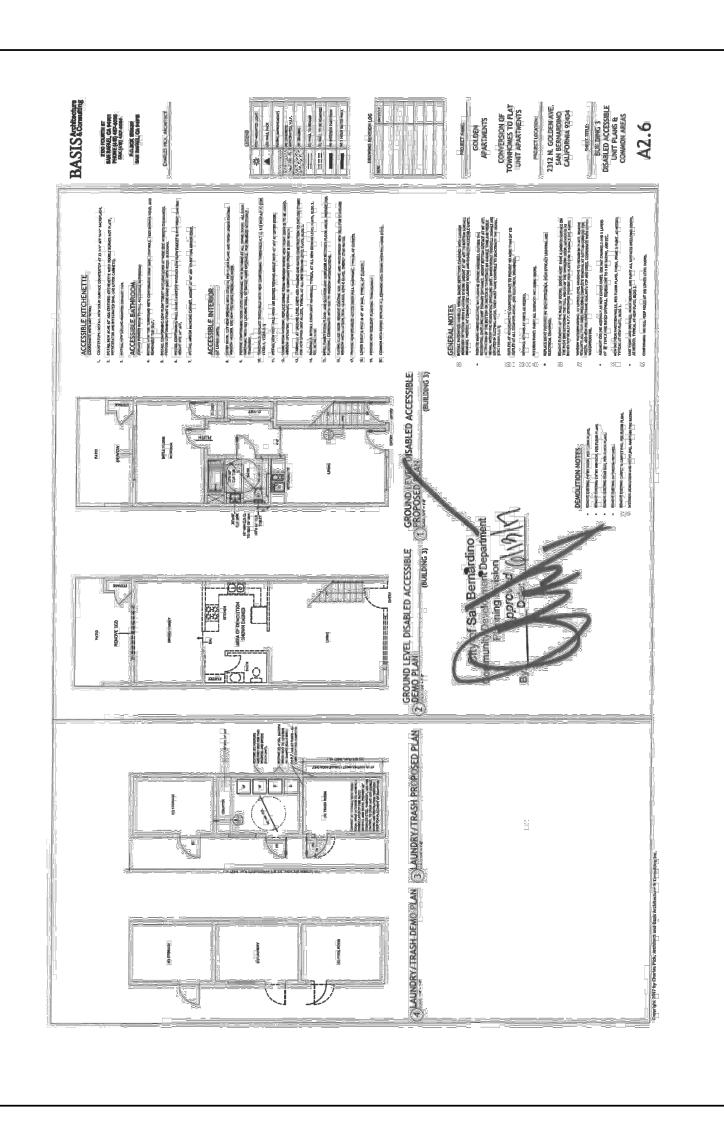
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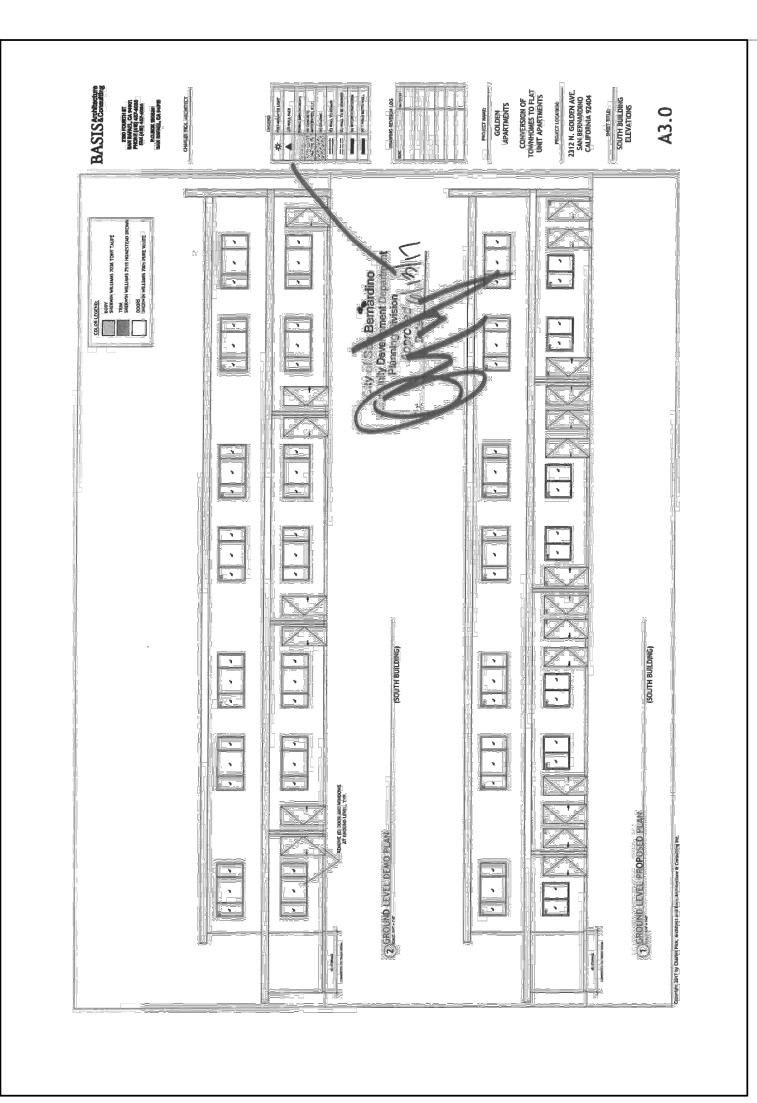
2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

CONDITIONAL **USE PERMIT** 

A0.5





# BASIS Architecture & Consulting

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P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



# LEGEND

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	(N) INTERIOR PARTITION
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# DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

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CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

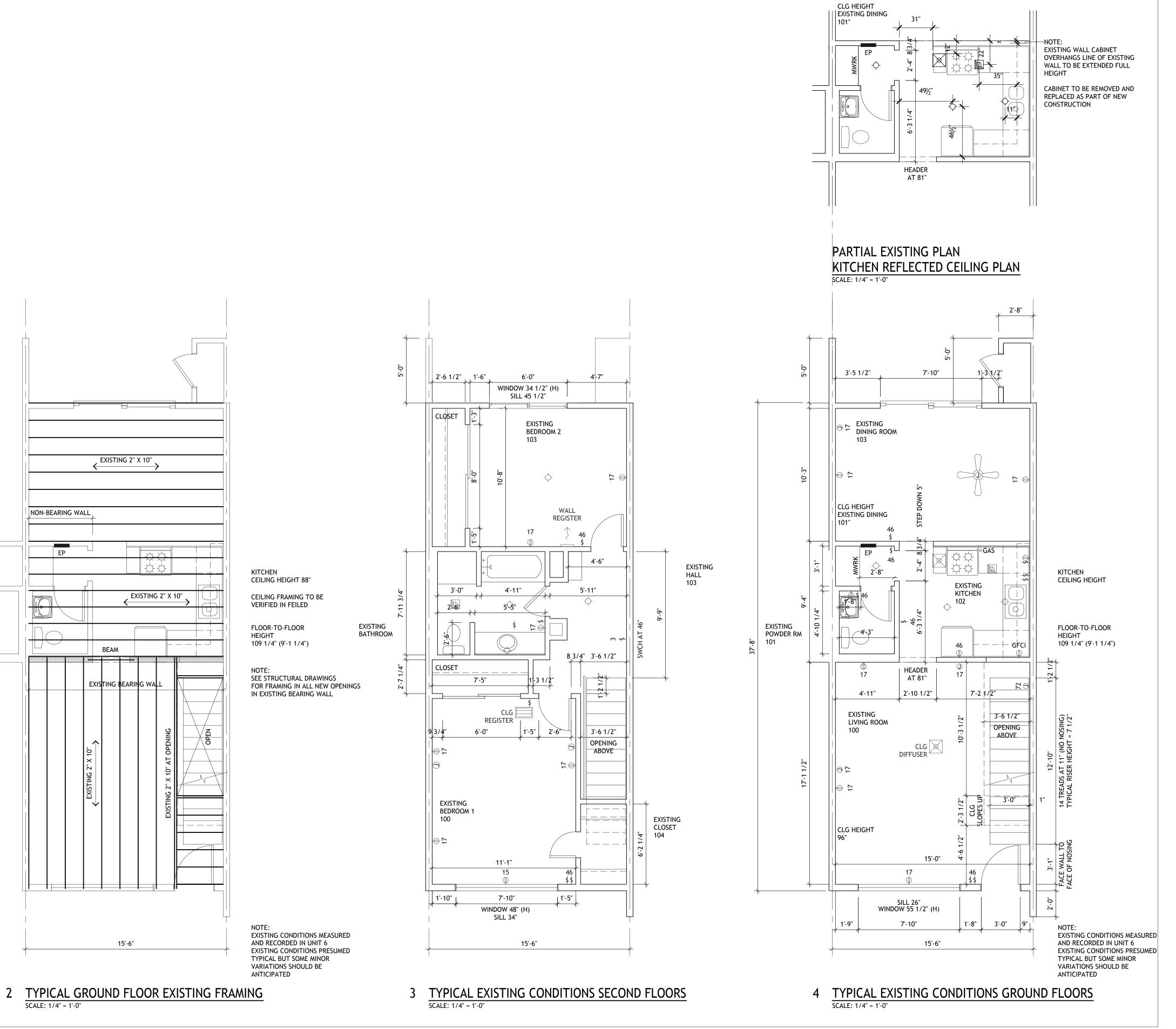
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

CONDITIONAL USE PERMIT

A0.6



# BASIS & Consulting

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CHARLES PICK, ARCHITECT



LEGEND

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	PAVING IMPROVEMENTS	
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# DRAWING REVISION LOG

12/12/17
03/30/18

PROJECT NAME:

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CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

TYPICAL UNIT EXISTING PLANS DIMENSIONING

A1.0

# MISCELLANEOUS ELECTRICAL NOTES

- 1 IN ANY NEWLY CREATED SLEEPING ROOM, THE EXISTING AND NEW RECEPTACLES SHALL BE BE CONNECTED TO AN NEW ARC FAULT BREAKER IN THE ELECTRICAL PANEL THAT REPLACES SEE ELECTRICAL DRAWINGS.
- 2 IN EXISTING MANAGER'S UNIT (NO CHANGES) THE EXISTING SMOKE AND CARBON MONOXIDE ALARMS ARE BATTERY OPERATED AND SHALL BE EXISTING TO REMAIN.
- 3 IN THE NEW (REMODELED) COMMUNITY ROOM AND REMODELED DWELLING UNITS, THE SMOKE AND CARBON MONOXIDE ALARMS SHALL BE POWERED FROM THE BUILDINGS ELECTRICAL POWER SYSTEM AND SHALL HAVE INTEGRAL BATTERY BACK UP.
- 4 NEW COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LOCATED WITHIN PROXIMITY TO THE NEW GAS FUELED RANGES.
- 5 A COMBINATION SMOKE AND CARBON MONOXIDE ALARM IN EACH UNIT SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTUATION OF ONE SHALL CAUSE ALL OTHER ALARMS IN THE UNIT TO BE ACTIVATED (CBC 907.2.11, CRC R314, CRC R315).
- 6 A SMOKE ALARM, POWERED BY THE BUILDINGS FROM THE PERMANENT BUILDINGS ELECTRICAL SYSTEM SHALL BE PROVIDED IN EVERY SLEEPING ROOM AND SHALL HAVE INTEGRAL BATTERY
- 7 ALL SMOKE AND CARBON MONOXIDE ALARMS SHALL BE ON A CIRCUIT PROTECTED WITH A COMBINATION ARC FAULT CIRCUIT INTERRUPTER (2010 CEC 210.12).
- 8 IN GROUND FLOOR ACCESSIBLE DWELLING UNITS ALARM SHALL HAVE AUDIBLE AND VISUAL ALARMS.
- 9 AUDIBLE ALARMS SHALL PRODUCE A SOUND THAT EXCEEDS THE PREVAILING EQUIVALENT SOUND LEVEL IN THE ROOM OR SPACE BY AT LEAST 15 DECIBELS OR EXCEEDS ANY MAXIMUM SOUND LEVEL WITH A DURATION OF 30 SECONDS BY 5 DECIBELS, WHICHEVER
- SOUND LEVELS FOR ALARM SIGNALS SHALL NOT EXCEED 120 DECIBELS. (UFAS 4.28.2)

- 10 THE FLASHING FREQUENCY OF VISUAL ALARM DEVICES SHALL BE LESS THAN 5 HZ. IF SUCH ALARMS USE ELECTRICITY FROM THE BUILDING AS A POWER SOURCE, THEN THEY SHALL BE INSTALLED ON THE SAME SYSTEM AS THE AUDIBLE EMERGENCY ALARMS. (UFAS 4.28.3)
- 11 GROUND FAULT CIRCUIT INTERRUPTION PROTECTION (GFCI)

GROUND-FAULT CIRCUIT-INTERRUPTION (GFCI) BE PROVIDED AS REQUIRED IN SECTION 210.8 (A) THROUGH (D). IN DWELLING UNITS, ALL 12-VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN 210.8(A)(1) THROUGH (10) SHALL HAVE GFCI PROTECTION.

IN NEWLY REMODELED BATHROOMS - ALL RECEPTACLES ARE REQUIRED TO BE GFCI PROTECTED. INCLUDING RECEPTACLES WITHIN 6 FEET OF THE OUTSIDE EDGE OF A BATHTUB OR SHOWER STALL

IN NEWLY REMODELED KITCHENS - WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACES AND RECEPTACLES WITHIN 6 FEET OF A WET SINK ARE REQUIRED TO BE

IN NEWLY REMODELED COMMON LAUNDRY ALL RECEPTACLES INSTALLED SHALL HAVE GFCI PROTECTION.

(E) CLG FAN

SM

CLOSET

12 SEE ELECTICAL PLANS FOR ADDITIONAL DETAIL.

REMODELED

REMODELED

**NEW CEILING** 

AT 7'-0" AFF

REMODELED

LIVING ROOM

A5.0 ASSEMBLY

A5.0 ASSEMBLY

PATCH

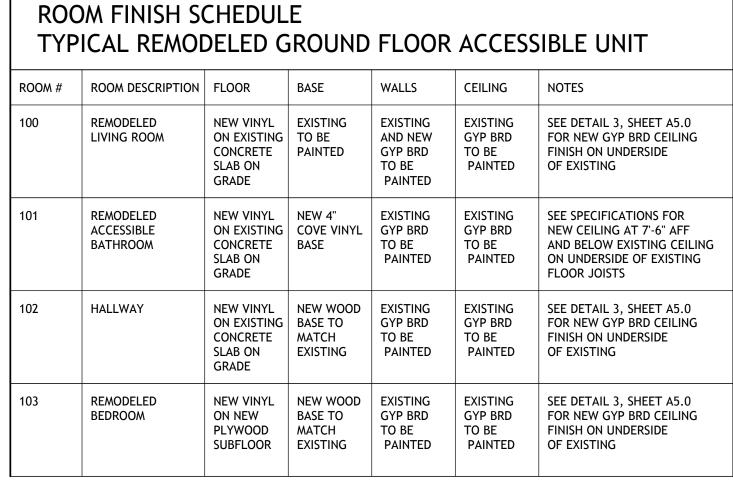
CEILING -

4 EXISTING CEILING FLOOR

3 NEW CEILING FLOOR

ACCESSIBLE BATH

BEDROOM



**GENERAL NOTES FOR INTERIOR FINISHES:** 

- 1 NEW GYP BRD REQUIRED IN ANY CONSTRUCTION TO HAVE TEXTURED FINISH TO MATCH EXISTING ADJACENT FINISH
- 2 ALL NEW PAINT COLORS TO BE SELECTED BY OWNER FROM STANDARD COLORS
- 3 CONSTRUCTION CLEANING REQUIRED TO INCLUDE, BUT NOT BE LIMITED TO, TO THOROUGHLY CLEANING ANY EXISTING FIXTURES, FAUCETS, LIGHTING FIXTURES, ETC., TO BE REUSED IN NEW WORK.
- 4 102 HALLWAY CEILING

NEW GYP BRD ON FURRING

WITH SMOOTH AND UNIFORM FINISH, TAPED AND SANDED READY FOR PRIMER AND PAINT

EXISTING CEILING TO BE REUSED

IN NEW WORK TO BE ADJUSTED

FOR NEW CEILING SURFACE

ON UNDERSIDE OF EXISTING

CHANNELS ON UNDERSIDE

OF EXISTING CEILING

ALL DEVICE BOXES IN

>CLG HT 7'-0"

TO REMAIN

—S&P AT 47" AFF MAX

PORTION OF EXISTING KITCHEN

CEILING AT 88" AFF TO REMAIN

LINE OF NEW HEADER AND

EXISTING OPENING THRU

FLOOR-TO-FLOOR

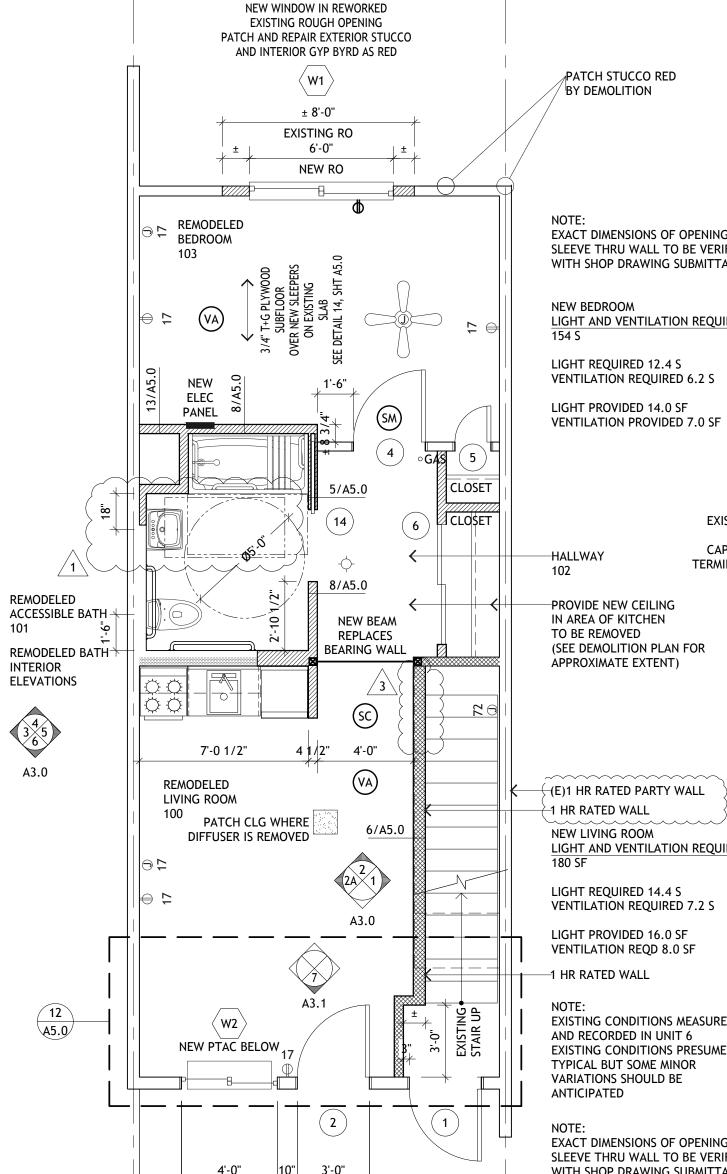
109 1/4" (9'-1 1/4")

FLOOR FOR EXISTING STAIR

EXISTING CEILING AT 88" AFF

THE EXISTING CEILING IN THE AREA OF THE EXISTING KITCHEN IS AT 88" AFF (SEE EXISTING CONDITIONS / DEMOLITION THE EXISTING CEILING IS TO REMAIN WITH RESPECT TO THE NEW WALL CONSTRUCTION. THE NEW LAYER OF RESILIENT FURRING CHANNELS AND GYP BRD (REQUIRED FOR STC 50) IS TO BE INSTALLED ON THE

UNDERSIDE OF THAT EXISTING CEILING TO REMAIN.



FOR GROUND FLOOR ACCESSIBLE UNIT

1 TYPICAL REMODELED REFLECTED CEILING PLAN FOR GROUND FLOOR ACCESSIBLE UNIT SCALE: 1/4" = 1'-0"

**LEGEND** 

COMBINATION SMOKE AND CARBON MONOXIDE ALARM WITH PRIMARY POWER FROM BUILDING PERMANENT POWER SYSTEM (ALARM TO HAVE BATTERY BACK UP)

DETAIL PLANS 1 AND 2 THIS SHEET

UNIT 7 BUILDING 3, 2312 NORTH GOLDEN AVENUE

UNIT 7, BUILDING 2, 2324 NORTH GOLDEN AVENUE

FOR GROUND FLOOR ACCESSIBLE UNIT

SCALE: 1/4" = 1'-0"

1 WORK IN THESE PLANS PERTAIN TO:

- (ALARM TO HAVE BATTERY BACK UP)
- SMOKE ALARM WITH PRIMARY POWER FROM BUILDING PRIMARY POWER SYSTEM MONOXIDE ALARMS IN ACCESSIBLE UNITS 6 + 7 BUILDING 2 (2324 N. GOLDEN) AND UNITS 6 + 7 BUILDING 3 (2312 N. GOLDEN) COMBINATION VISUAL / AUDIBLE ALARM INTERCONNECTED TO SMOKE AND CARBON

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P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
.11111111111	(N) INTERIOR PARTITION
***************************************	(N) 1 HOUR RATED WALL

DRAWING DEVISION LOG

LOG
12/12/17
03/30/18
5-3-2018
5-17-2018

PROJECT NAME:

**GOLDEN APARTMENTS** 

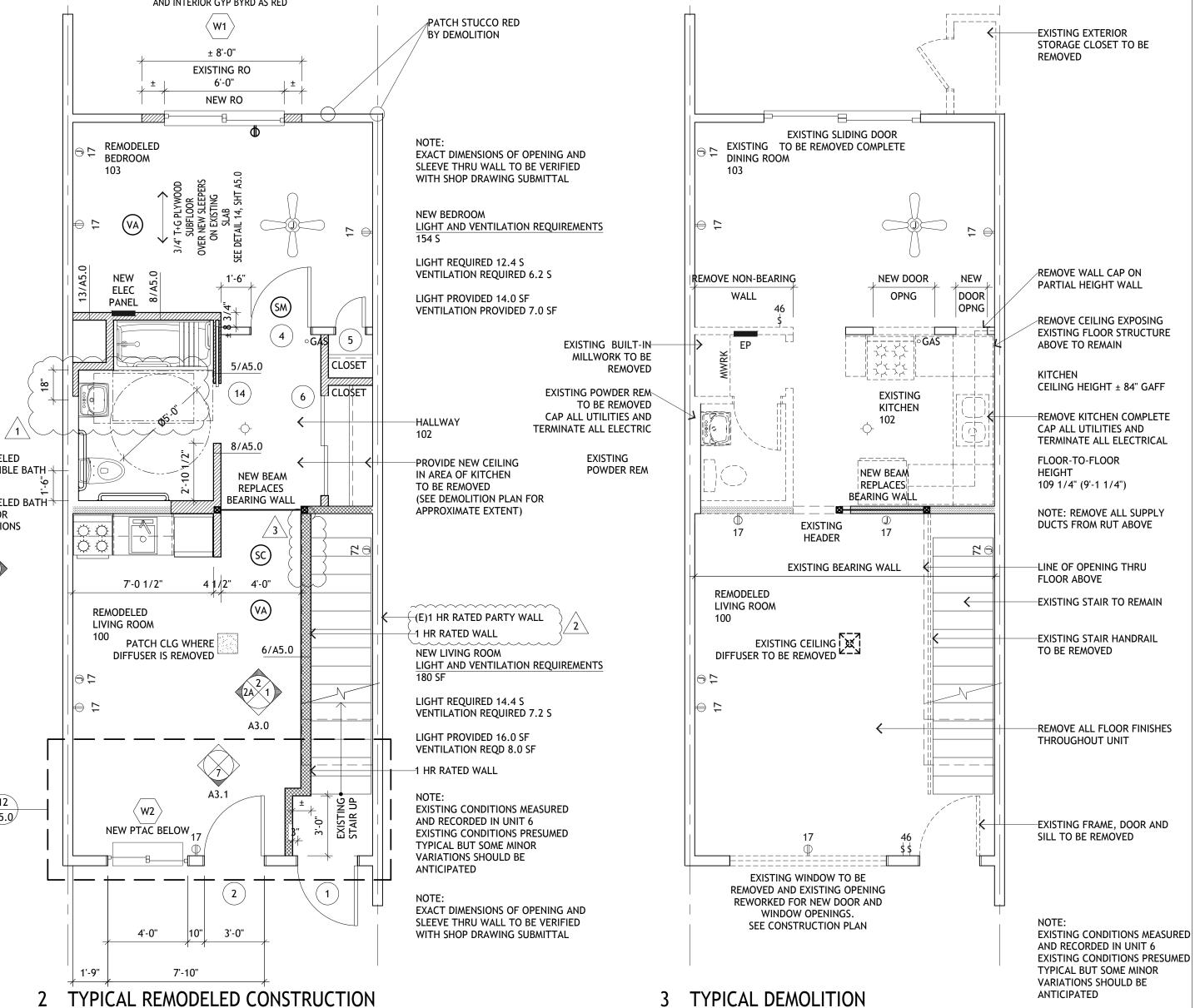
**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

**GROUND FLOOR ACCESSIBLE UNIT** DETAIL PLANS, FINISH SCHEDULE + NOTE



ROOM #	ROOM DESCRIPTION	FLOOR	BASE	WALLS	CEILING	NOTES
200	REMODELED LIVING ROOM	NEW VINYL ON EXISTING WOOD SUBFLOOR	EXISTING TO BE PAINTED	EXISTING AND NEW GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	-
201	EXISTING BATHROOM	EXISTING TO REMAIN - -	EXISTING TO REMAIN	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	NEW BASE REQUIRED TO MATCH EXISTING. SEE ELEVATION 8, SHEET A3.1
202	EXISTING BEDROOM	NEW VINYL ON EXISTING WOOD SUBFLOOR	EXISTING TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	-
203	EXISTING HALLWAY	NEW VINYL ON EXISTING WOOD SUBFLOOR	EXISTING TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	-
204	EXISTING CLOSET	NEW VINYL ON EXISTING WOOD SUBFLOOR	EXISTING TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	-
205	EXISTING STAIR	EXISTING PRECAST CONCRETE TREADS AND NEW RISER BL;OCKS	-	EXISTING AND NEW GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	SEE SHEET A3.2 FOR SECTIONS THRU STAIR SEE SHEET A5.4 FOR NEW RISER BLOCK DETAILS PROVIDE NEW WALL MOUNTED HANDRAIL (ONE SIDE)

### **ROOM FINISH SCHEDULE** TYPICAL REMODELED NON-ACCESSIBLE GROUND FLOOR UNITS ROOM # ROOM DESCRIPTION | FLOOR BASE CEILING NOTES WALLS NEW VINYL EXISTING EXISTING SEE DETAIL 3, SHEET A5.0 REMODELED ON EXISTING TO BE AND NEW GYP BRD FOR NEW GYP BRD CEILING FINISH ON UNDERSIDE CONCRETE PAINTED GYP BRD TO BE SLAB ON TO BE PAINTED OF EXISTING PAINTED GRADE NEW VINYL | NEW WOOD | EXISTING REMODELED SEE DETAIL 3, SHEET A5.0 BATHROOM ON EXISTING | BASE TO GYP BRD FOR NEW GYP BRD CEILING CONCRETE MATCH TO BE TO BE FINISH ON UNDERSIDE EXISTING SLAB ON PAINTED PAINTED OF EXISTING GRADE EXISTING REMODELED **EXISTING** EXISTING EXISTING CEILING AT 7'-4" AFF NEW VINYL ON EXISTING TO BE KITCHEN GYP BRD GYP BRD CONCRETE PAINTED TO BE SLAB ON PAINTED PAINTED GRADE REMODELED NEW VINYL | NEW WOOD | EXISTING SEE DETAIL 3, SHEET A5.0 BEDROOM ON NEW BASE TO GYP BRD GYP BRD FOR NEW GYP BRD CEILING FINISH ON UNDERSIDE WOOD MATCH TO BE TO BE

# GENERAL NOTES FOR INTERIOR FINISHES:

1 NEW GYP BRD REQUIRED IN ANY CONSTRUCTION TO HAVE TEXTURED FINISH TO MATCH EXISTING ADJACENT FINISH

PAINTED

PAINTED

OF EXISTING

2 ALL NEW PAINT COLORS TO BE SELECTED BY OWNER FROM STANDARD COLORS

SUBFLOOR

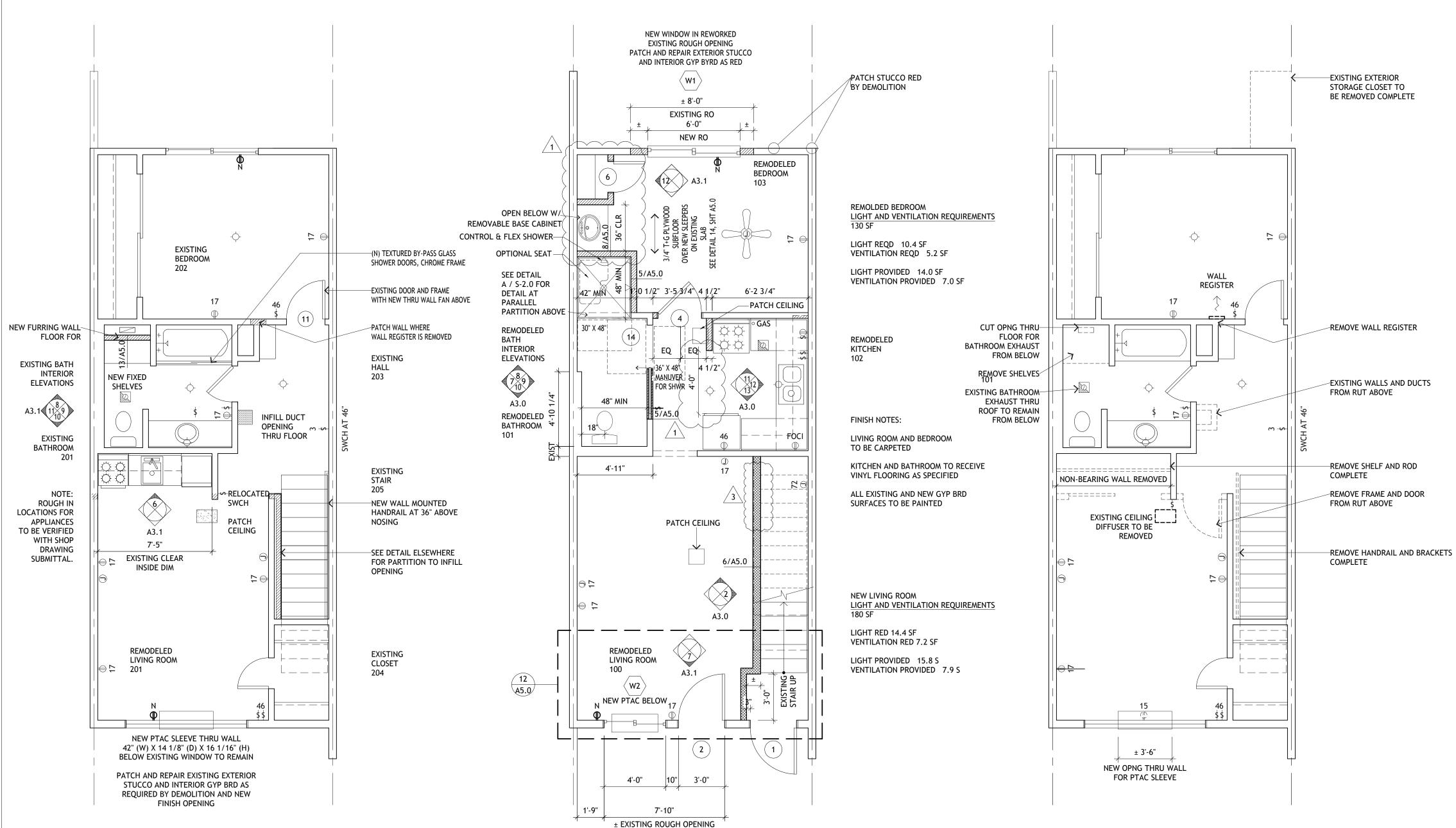
3 CONSTRUCTION CLEANING REQUIRED TO INCLUDE, BUT NOT BE LIMITED TO, TO THOROUGHLY CLEANING ANY EXISTING FIXTURES, FAUCETS, LIGHTING FIXTURES, ETC., TO BE REUSED IN NEW WORK.

EXISTING

# LEGEND

- COMBINATION SMOKE AND CARBON MONOXIDE ALARM WITH PRIMARY POWER FROM BUILDING PERMANENT POWER SYSTEM (ALARM TO HAVE BATTERY BACK UP)
- SM) SMOKE ALARM WITH PRIMARY POWER FROM BUILDING PRIMARY POWER SYSTEM (ALARM TO HAVE BATTERY BACK UP)
- (VA) COMBINATION VISUAL / AUDIBLE ALARM INTERCONNECTED TO SMOKE AND CARBON MONOXIDE ALARMS IN ACCESSIBLE UNITS 6 + 7 BUILDING 2 (2324 N. GOLDEN)
  AND UNITS 6 + 7 BUILDING 3 (2312 N. GOLDEN)

NOTE: SEE REFLECTED CEILING PLANS FOR CEILING HEIGHTS.



EXISTING EXTERIOR STORAGE CLOSET TO BE REMOVED COMPLETE REMOVE SLIDING DOOR COMPLETE AND PREPARE EXISTING ROUGH PONG TO BE REWORKED FOR NEW **EXISTING** DINING ROOM EXISTING BASE IN DINING REM 7'-2 3/4" 4'-11" 2'-10 1/4" TO BE REMOVED COMPLETE 3'-6" REMOVE WALL CAP ON NEW OPNG EXTENDED FULL HEIGHT REMOVE WALL CABINET **EXISTING** KITCHEN 6'-2 3/4" -SEE PARTIAL DETAIL PLAN OF CEILING ON SHEET A1.0 BY CALCULATION ( BASE CABINET EXISTING 7'-0" AFF KITCHEN CEILING TO REMAIN — — <del>|</del> GFCI || **EXISTING EXISTING** HEADER POWDER ROOM 4'-11" EXISTING STAIR TO REMAIN DIFFUSER-TO BE REMOVED LINE OF OPENING THRU FLOOR ABOVE REMOVE EXISTING FLOOR FINISHES THROUGHOUT GROUND FLOOR REMOVE EXISTING STAIR RAILING FULL HEIGHT **EXISTING** LIVING ROOM REMOVE EXISTING FLOOR FINISH AT DOOR ENTRY EXISTING ENTRY FRAME AND DOOR TO BE REMOVED COMPLETE EXISTING WINDOW TO BE REMOVED AND EXISTING OPENING REWORKED FOR NEW DOOR AND WINDOW OPENINGS. SEE CONSTRUCTION PLAN

DEMOLITION AT TYPICAL REMODELED GROUND FLOOR UNITS

SCALE: 1/4" = 1'-0"

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SAN RAFAEL, CA 94901

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## LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
7[[]]]]]]]	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

# DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18
2 PLAN CHECK RESPONSE	5-3-2018
3 PLAN CHECK RESPONSE	5-17-2018

# PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

GROUND + SECOND FLOOR
NON-ACCESSIBLE UNITS
DETAIL PLANS,
FINISH SCHEDULES + NOTES

A1.2

1 TYPICAL REMODELED SECOND FLOOR UNITS

SCALE: 1/4" = 1'-0"

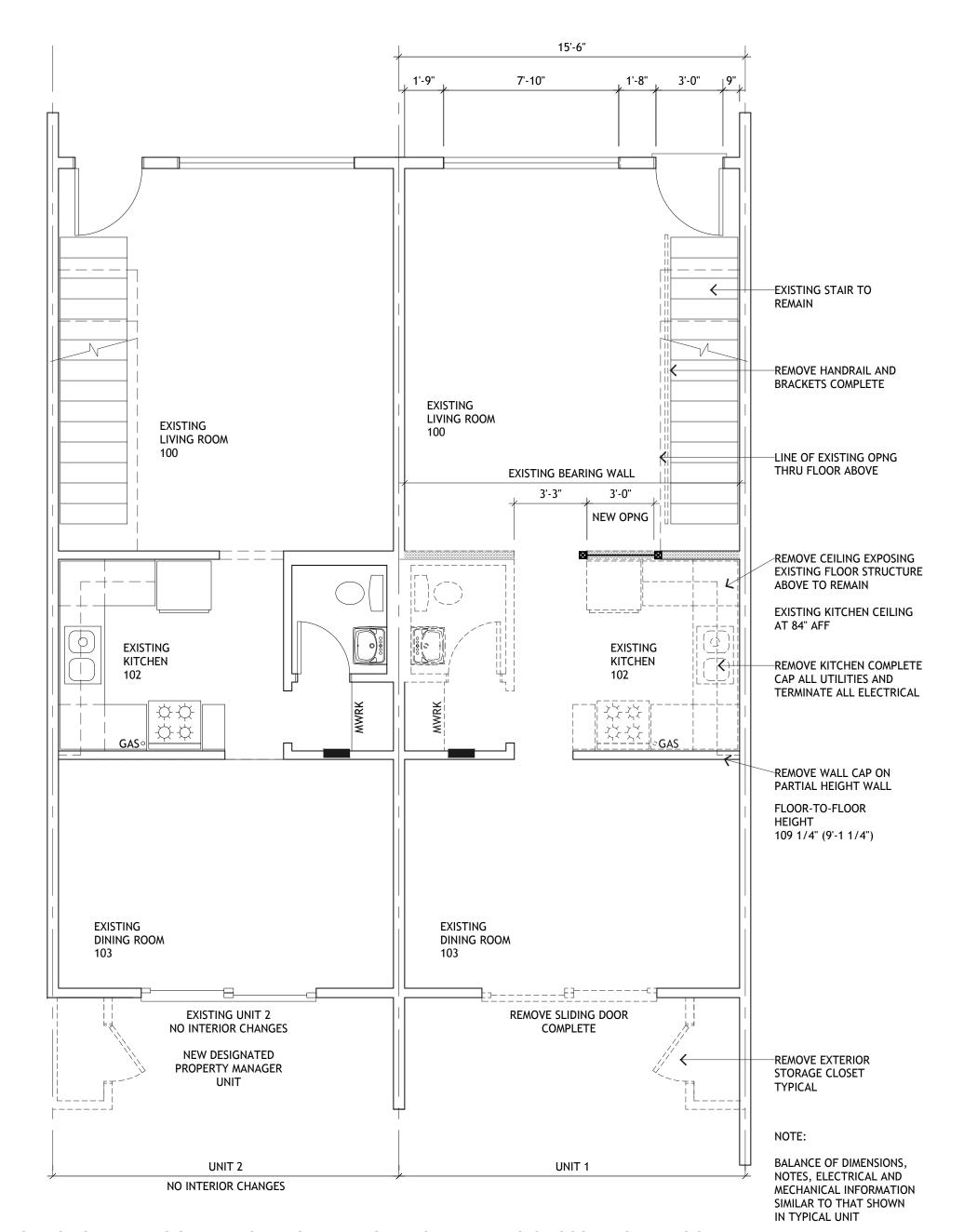
2 TYPICAL REMODELED GROUND FLOOR UNITS

SCALE: 1/4" = 1'-0"

DEMOLITION AT TYPICAL REMODELED SECOND FLOOR UNITS

# **LEGEND**

- COMBINATION SMOKE AND CARBON MONOXIDE ALARM WITH PRIMARY POWER FROM BUILDING PERMANENT POWER SYSTEM (ALARM TO HAVE BATTERY BACK UP)
- SMOKE ALARM WITH PRIMARY POWER FROM BUILDING PRIMARY POWER SYSTEM (ALARM TO HAVE BATTERY BACK UP)
- COMBINATION VISUAL / AUDIBLE ALARM INTERCONNECTED TO SMOKE AND CARBON MONOXIDE ALARMS IN ACCESSIBLE UNITS 6 + 7 BUILDING 2 (2324 N. GOLDEN) AND UNITS 6 + 7 BUILDING 3 (2312 N. GOLDEN)



2 GROUND FLOOR DEMOLITION UNITS 1 + 2 BUILDING 2 (2324 NORTH GOLDEN)

SCALE: 1/4" = 1'-0"

# BASIS Architecture & Consulting

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CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
.111111111111	(N) INTERIOR PARTITION
***************************************	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

GROUND EXISTING/DEMOLITION PLAN! MANAGER'S UNIT AND COMMUNITY ROOM

A1.3

ROOM #	ROOM DESCRIPTION	FLOOR	BASE	WALLS	CEILING	NOTES
100	EXISTING LIVING ROOM	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	
101	EXISTING POWDER ROOM	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	
102	EXISTING KITCHEN	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	
103	EXISTING DINING ROOM	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	EXISTING TO REMAIN WITH NEW PAINT	

1 ALL EXISTING GYP BRD, FRAMES AND DOORS TO BE PAINTED.

2 ALL NEW PAINT COLORS TO BE SELECTED BY OWNER FROM STANDARD COLORS

ROOM FINISH SCHEDULE SECOND FLOOR COMMUNITY ROOM (NON-ACCESSIBLE)						
ROOM #	ROOM DESCRIPTION	FLOOR	BASE	WALLS	CEILING	NOTES
200	SPARE ROOM	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	NO CHANGES TO EXISTING BEDROOM, CHANGE OF USE ONLY
201	EXISTING BATHROOM	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	
202	EXISTING HALL	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	PATCH AND REPAIR CEILING AS REQ'D FOR INSTALLATION OF NEW ALARMS
203	SPARE ROOM	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN	NO CHANGES TO EXISTING BEDROOM, CHANGE OF USE ONLY

**ROOM FINISH SCHEDULE** GROUND FLOOR MANAGER'S UNIT ROOM # ROOM DESCRIPTION | FLOOR BASE CEILING NOTES WALLS **EXISTING** EXISTING EXISTING LIVING TO REMAIN | TO REMAIN | TO REMAIN | TO REMAIN ROOM WITH NEW | WITH NEW | WITH NEW PAINT PAINT PAINT **EXISTING POWDER** TO REMAIN TO REMAIN TO REMAIN TO REMAIN ROOM WITH NEW WITH NEW WITH NEW WITH NEW PAINT PAINT PAINT EXISTING KITCHEN TO REMAIN TO REMAIN TO REMAIN TO REMAIN WITH NEW WITH NEW WITH NEW WITH NEW PAINT PAINT PAINT EXISTING TO REMAIN TO REMAIN TO REMAIN TO REMAIN DINING ROOM WITH NEW WITH NEW WITH NEW WITH NEW PAINT PAINT PAINT

GRO	OUND FLOOF	R ACCES	SIBLE C	OMMUN	ITY ROC	DM
ROOM #	ROOM DESCRIPTION	FLOOR	BASE	WALLS	CEILING	NOTES
100	REMODELED COMMUNITY ROOM	NEW VINYL ON EXISTING CONCRETE SLAB ON GRADE	EXISTING TO BE PAINTED	EXISTING AND NEW GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING CEILING TO REMAIN AT 8'-0" AFF PATCH AND REPAIR CEILING AS REQ'D FOR INSTALLATION OF NEW ALARMS
101	HALLWAY	NEW VINYL ON EXISTING CONCRETE SLAB ON GRADE	NEW 4" COVE VINYL BASE	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING CEILING TO REMAIN AT 7'-4" AFF PATCH AND REPAIR CEILING AS REQ'D
102	REMODELED ACCESSIBLE TOILET ROOM	NEW VINYL ON EXISTING CONCRETE SLAB ON GRADE	NEW WOOD BASE TO MATCH EXISTING	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING CEILING TO REMAIN AT 7'-4" AFF PATCH AND REPAIR CEILING AS REQ'D
103	SERVICE PROVIDERS OFFICE AND MEETING ROOM FOR LEASING	ON NEW	NEW WOOD BASE TO MATCH EXISTING	EXISTING GYP BRD TO BE PAINTED	EXISTING GYP BRD TO BE PAINTED	EXISTING CEILING TO REMAIN AT 8'-0" AFF

1 NEW GYP BRD REQUIRED IN ANY CONSTRUCTION TO HAVE TEXTURED FINISH TO MATCH EXISTING ADJACENT FINISH

REVISED LIGHT AND VENT CALCULATION

AREA UNDER STAIR WITH LESS THAN 7'-0"

HEADROOM NOT INCLUDED IN CALCULATION

220 SF

FOR NEW COMMUNITY ROOM

REQUIRED LIGHT 17.6 SF REQUIRED VENT 8.8 SF

EXISTING LIGHT 30.0 SF EXISTING VENT 15.0 SF

REMODELED BATH

NEW ACCESSIBLE SINGLE

REVISED LIGHT AND VENT CALCULATION

FOR NEW SERVICE PROVIDERS ROOM

REQUIRED LIGHT 10.4 SF

REQUIRED VENT 5.2 SF

PROVIDED LIGHT 14.0 SF

PROVIDED VENT 7.0 SF

PATCH AND REPAIR STUCCO

AS REQD BY DEMOLITION OF

BALANCE OF DIMENSIONS, NOTES,

INFORMATION SIMILAR TO THAT SHOWN

ELECTRICAL AND MECHANICAL

EXTERIOR CLOSET

IN TYPICAL UNIT

USER TOILET ROOM

**PANTRY** 103

NET AREA

**ELEVATIONS** 

**NET AREA** 

2 ALL NEW PAINT COLORS TO BE SELECTED BY OWNER FROM STANDARD COLORS

2

3'-10"

**ROOM FINISH SCHEDULE** 

GENERAL NOTES FOR INTERIOR FINISHES:

NEW COMMUNITY ROOM

48" MIN. CLEAR

SERVICE PROVIDERS OFFICE AND MEETING FOR LEASING

6'-0"

NEW RO

± 8'-0"

EXISTING ROUGH OPENING NEW WINDOW IN REWORKED

UNIT 1

6'-9" 4 1/2", |9"| 3'-0"

NEW CASED OPNG

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CHARLES PICK, ARCHITECT



# LEGEND

*	POST-MOUNTED LIGHT
<b>A</b>	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
:11111111111	(N) INTERIOR PARTITION
***************************************	(N) 1 HOUR RATED WALL

# DRAWING REVISION LOG

IN LOG
12/12/17
03/30/18

PROJECT NAME:

**GOLDEN APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

GROUND + SECOND FLOOR REMODELED PLANS MANAGER'S UNIT AND **COMMUNITY ROOM** FINISH SCHEDULES

GENERAL NOTES FOR INTERIOR FINISHES:

FROM BUILDING PERMANENT POWER SYSTEM

LEGEND

1 ALL NEW PAINT COLORS TO BE SELECTED BY OWNER FROM STANDARD COLORS

SC COMBINATION SMOKE AND CARBON MONOXIDE ALARM WITH PRIMARY POWER

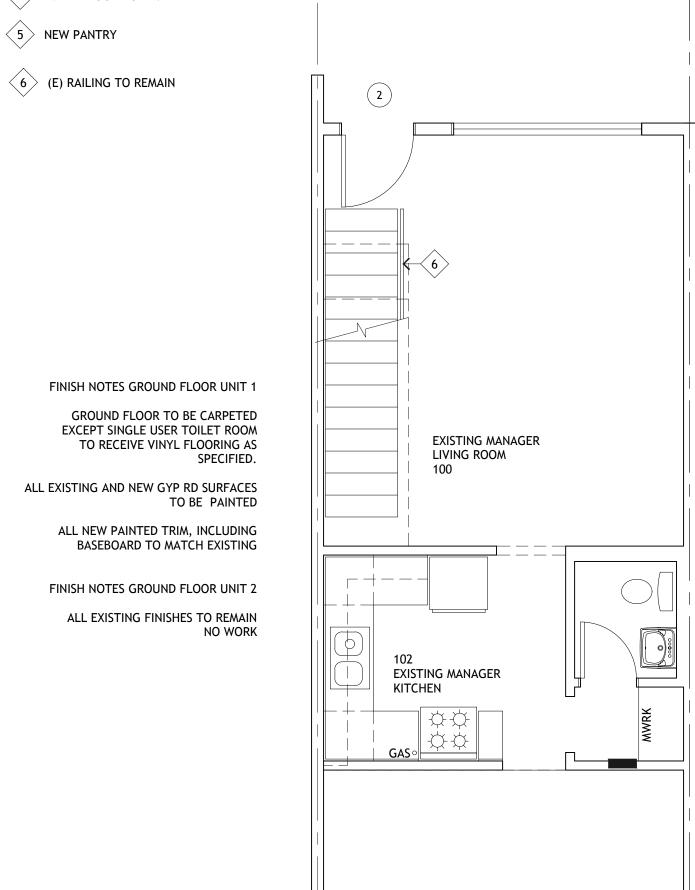
# **COMMON AREA KEYED NOTES**

GENERAL NOTES FOR INTERIOR FINISHES:

- 1 EMPLOYEES ONLY" SIGN AT STAIRS
- (2) NEW ACCESSIBLE ENTRY DOOR
- REMOVE EXISTING SLIDING GLASS DOORS, INFILL PORTION OF EXISTING ROUGH OPENING FOR NEW WINDOW

1 ALL NEW PAINT COLORS TO BE SELECTED BY OWNER FROM STANDARD COLORS

- (4) INFILL FLOOR TO LEVEL



PATCH AND REPAIR STUCCO-

AS REQD BY DEMOLITION OF

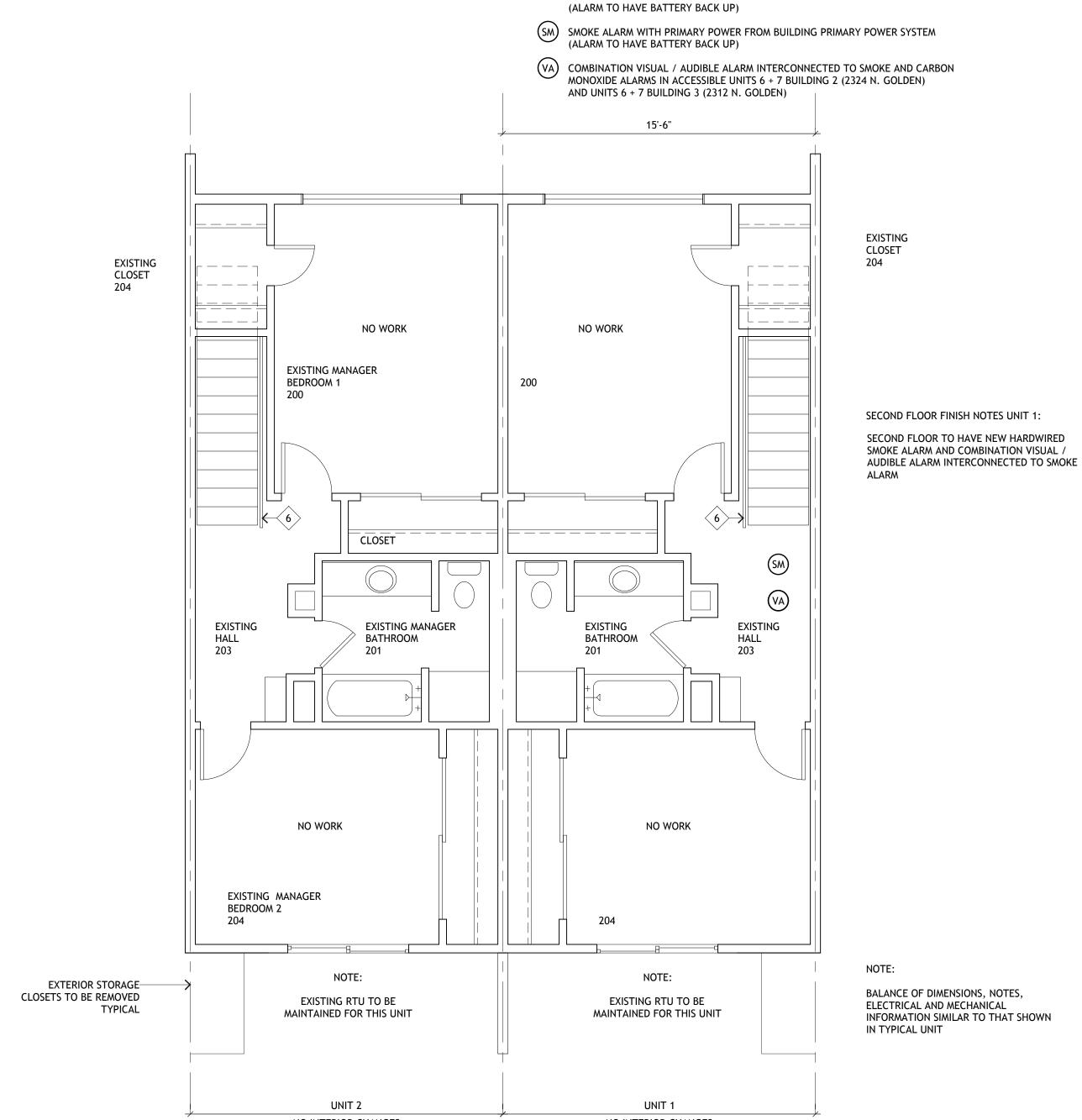
EXTERIOR CLOSET

EXISTING MANAGER DINING ROOM

UNIT 2

**EXISTING UNIT 2** NO INTERIOR CHANGES NEW DESIGNATED EXISTING RO PROPERTY MANAGER UNIT AND INTERIOR GYP BYRD AS RED PATCH AND REPAIR EXTERIOR STUCCO

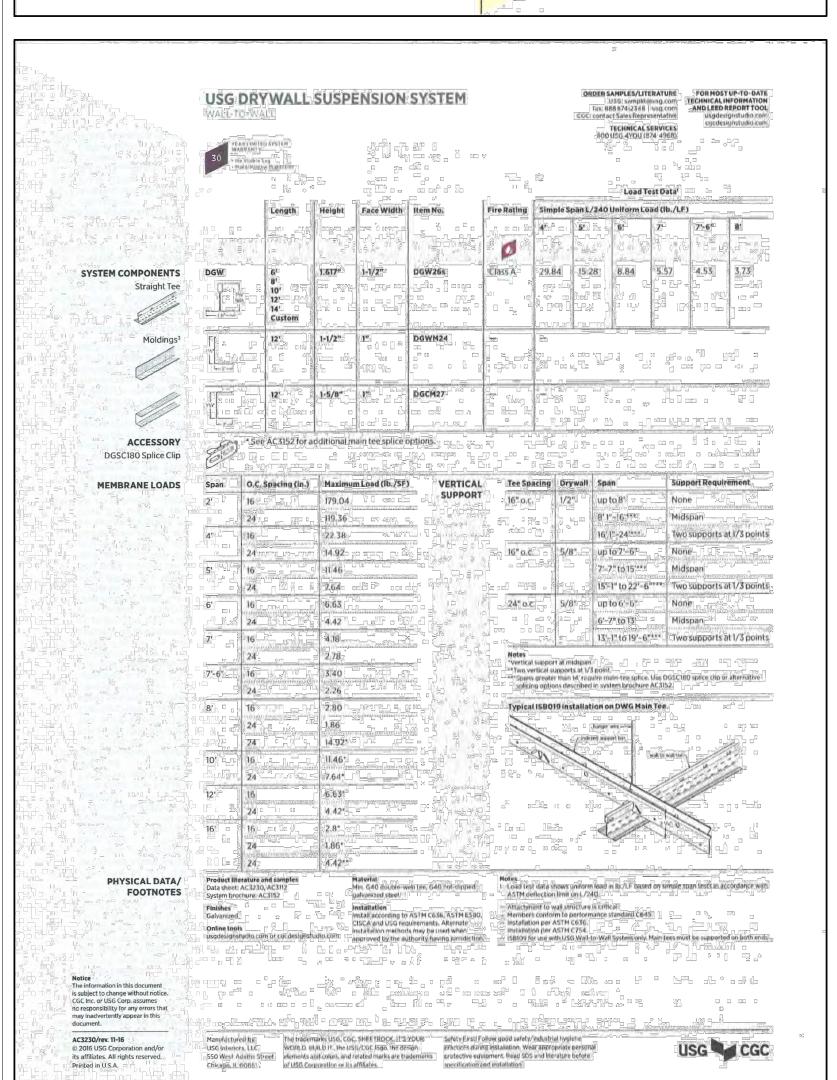
NO INTERIOR CHANGES REMODELED GROUND FLOOR AT UNITS 1 + 2 BUILDING 2 (2324 NORTH GOLDEN)

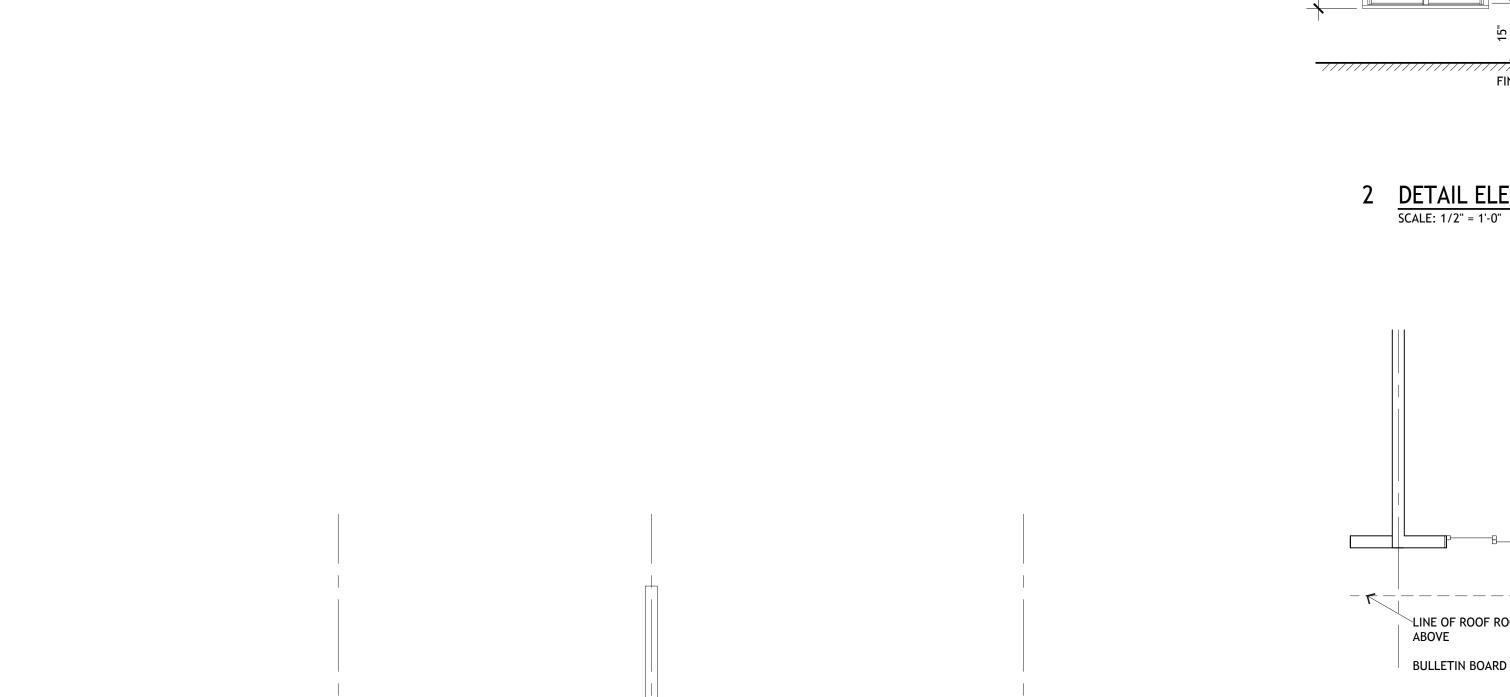


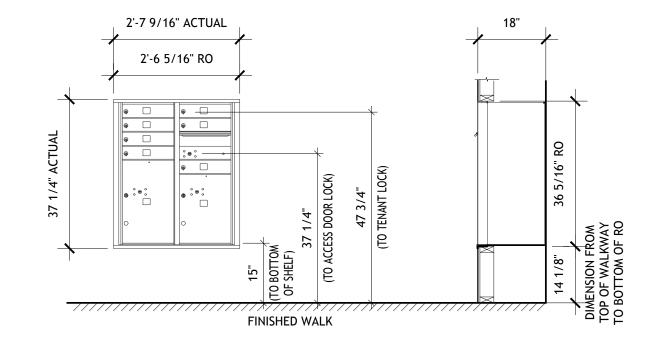
NO INTERIOR CHANGES NO INTERIOR CHANGES SECOND FLOOR AT UNITS 1 + 2 BUILDING 2 (2324 NORTH GOLDEN)

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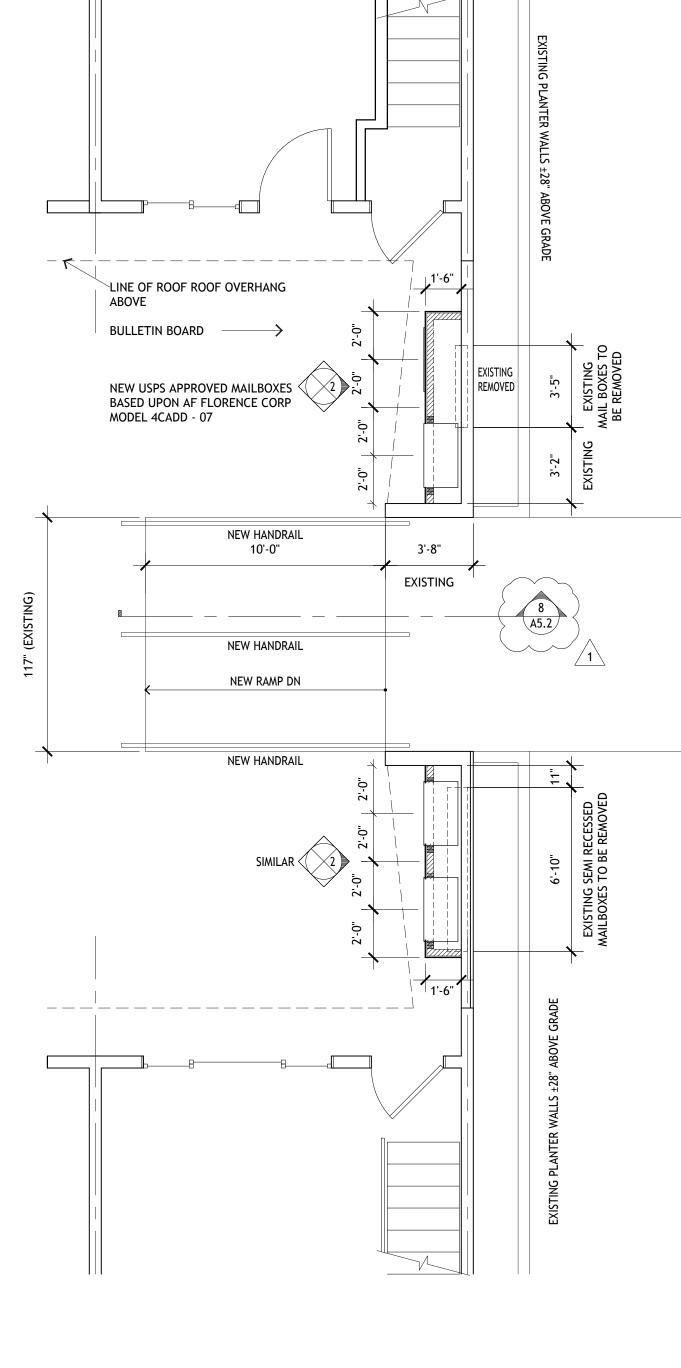








# 2 DETAIL ELEVATION OF MAILBOXES SCALE: 1/2" = 1'-0"



1 ENTRY COURT DETAIL PLAN
SCALE: 1/4" = 1'-0"

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# LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
711111111111	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

# DRAWING REVISION LOG

DRAWING REVISION LOG	
12/12/17	
03/30/18	
5-17-2018	

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

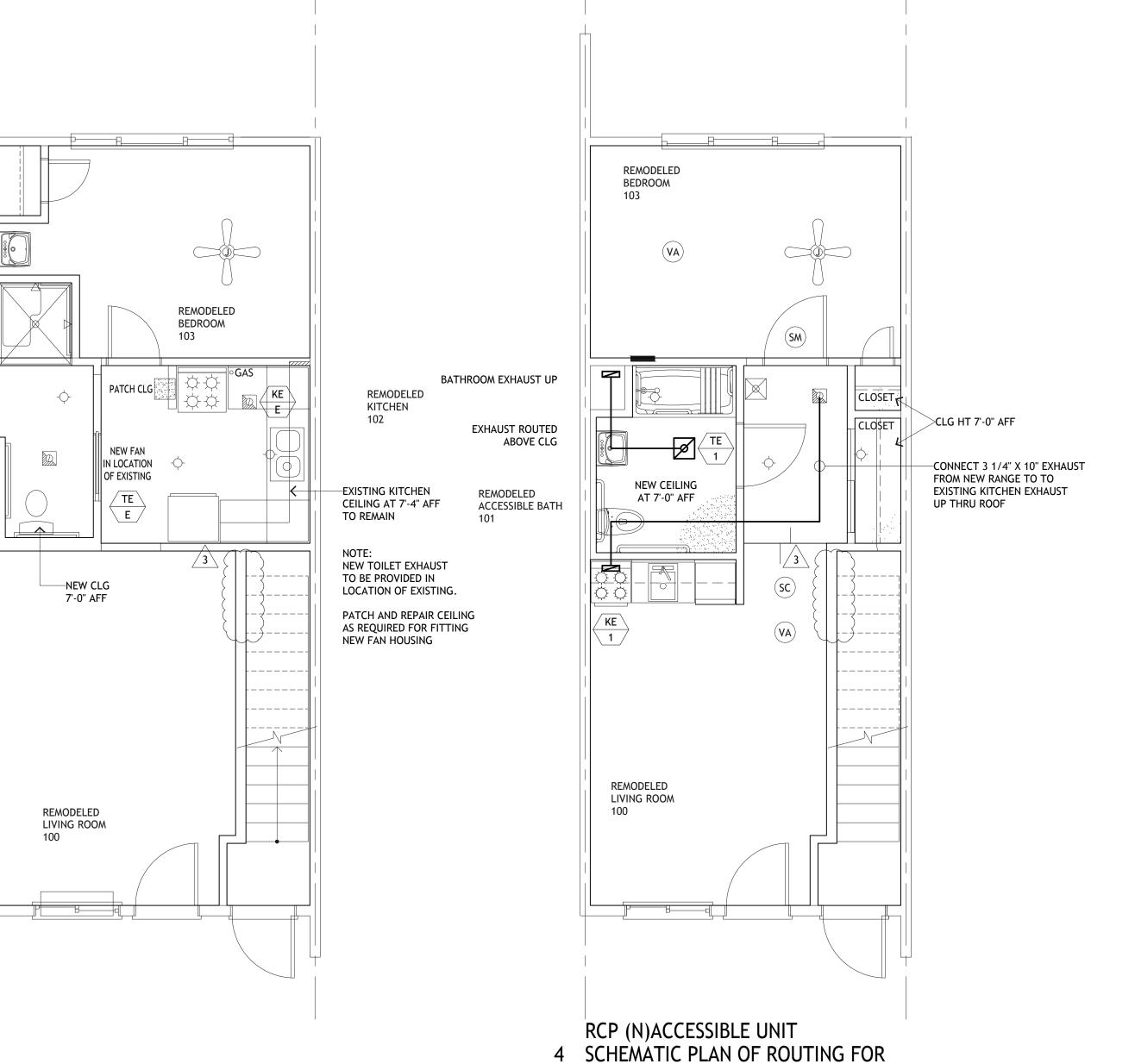
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

RCP, DETAIL PLAN + ELEV
MAILBOXES,
SCHEMATIC PLANS FOR
KITCHEN + BATH EXHAUST,
CLG SUSPENSION SPECIFICATION

A1.5



KITCHEN AND BATHROOM EXHAUST

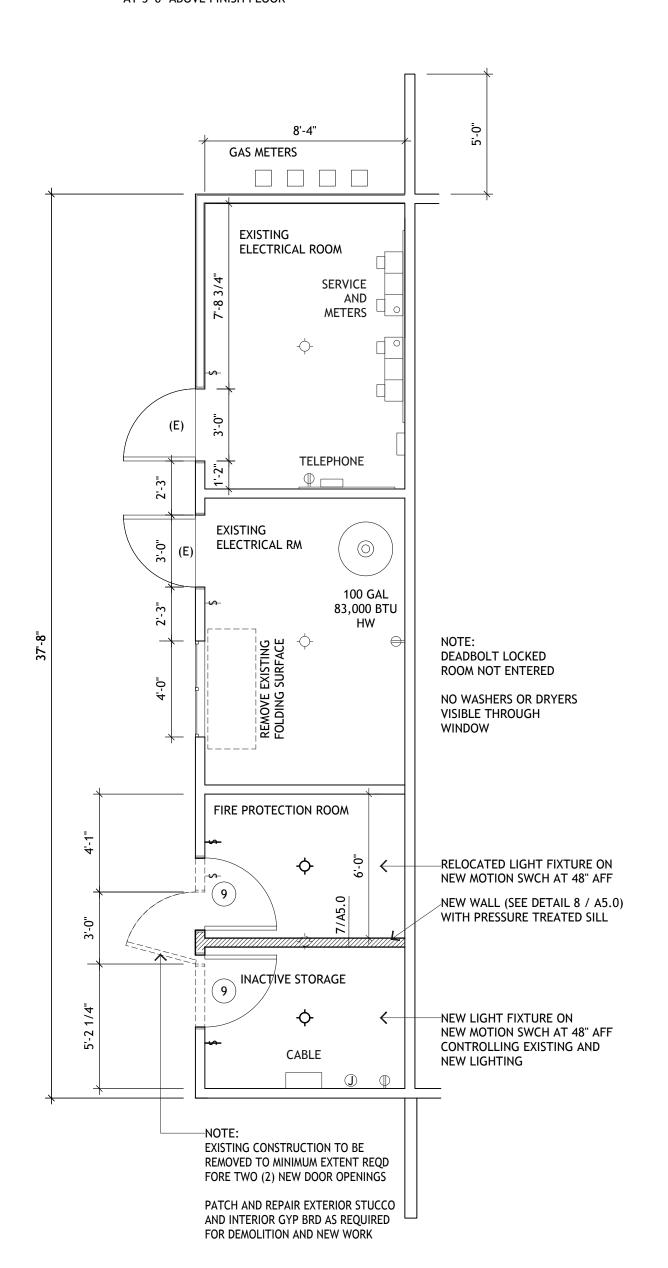
RCP TYPICAL REMODELED GROUND FLOOR UNITS

SCALE: 1/4" = 1'-0" EXISTING EXHAUST FAN TO REMAIN

# SIGNAGE NOTE

THE DOOR TO THE FIRE SPRINKLER ROOM SHALL HAVE A DURABLE METAL SIGN WITH A MINIMUM OF THREE INCH (3") RED BLOCK LETTERS ON A CONTRASTING BACKGROUND STATING "FIRE RISER INSIDE" PER DIAGRAM F-3.5 OF THE SAN BERNARDINO COUNTY FIRE DEPARTMENT STANDARDS.

THE SIGN SHALL BE AFFIXED TO THE OUTSIDE FACE OF THE DOOR AT 5'-0" ABOVE FINISH FLOOR

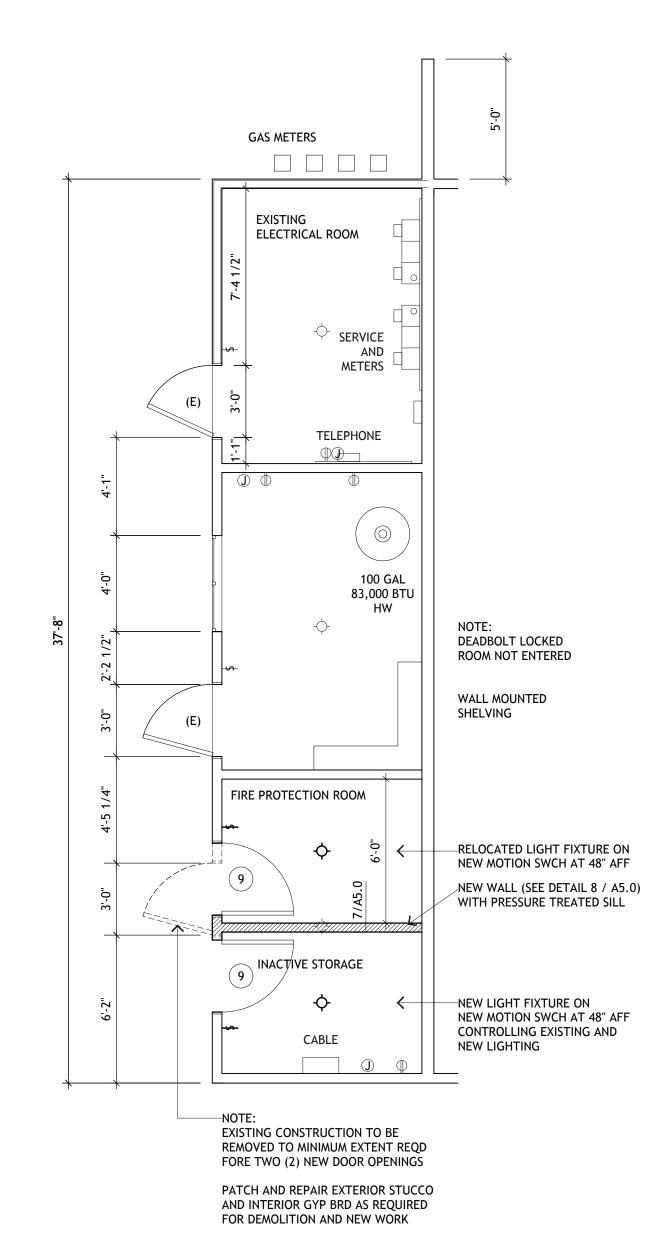


1 REMODELED COMMON AREAS BUILDING 1

# SIGNAGE NOTE

THE DOOR TO THE FIRE SPRINKLER ROOM SHALL HAVE A DURABLE METAL SIGN WITH A MINIMUM OF THREE INCH (3") RED BLOCK LETTERS ON A CONTRASTING BACKGROUND STATING "FIRE RISER INSIDE" PER DIAGRAM F-3.5 OF THE SAN BERNARDINO COUNTY FIRE DEPARTMENT STANDARDS.

THE SIGN SHALL BE AFFIXED TO THE OUTSIDE FACE OF THE DOOR AT 5'-0" ABOVE FINISH FLOOR



2 REMODELED COMMON AREAS

BUILDING 3

SCALE: 1/4" = 1'-0"

NORTH

# NORTH

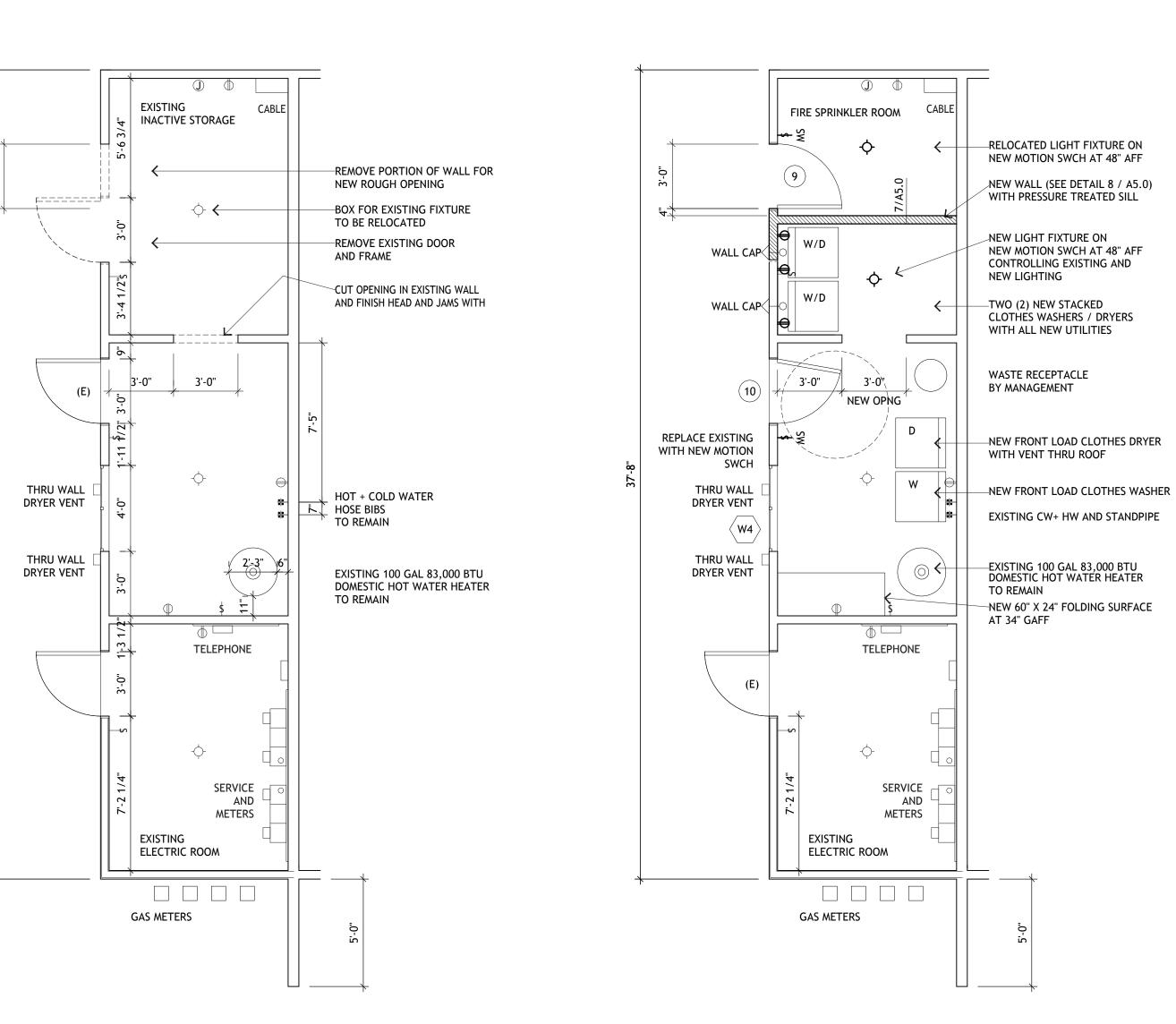
3 EXISTING CONDITIONS + DEMOLITION PLAN BUILDING 2 COMMON AREAS

# AT 5'-0" ABOVE FINI!

SIGNAGE NOTE

THE DOOR TO THE FIRE SPRINKLER ROOM SHALL HAVE A DURABLE METAL SIGN WITH A MINIMUM OF THREE INCH (3") RED BLOCK LETTERS ON A CONTRASTING BACKGROUND STATING "FIRE RISER INSIDE" PER DIAGRAM F-3.5 OF THE SAN BERNARDINO COUNTY FIRE DEPARTMENT STANDARDS.

THE SIGN SHALL BE AFFIXED TO THE OUTSIDE FACE OF THE DOOR AT 5'-0" ABOVE FINISH FLOOR



NORTH

REMODELED BUILDING 2

COMMON AREAS

SCALE: 1/4" = 1'-0"

# BASIS Architecture & Consulting

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P.O.BOX 150539 SAN RAFAEL, CA 94915

# CHARLES PICK, ARCHITECT



## LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
***************************************	(N) 1 HOUR RATED WALL

# DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

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SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

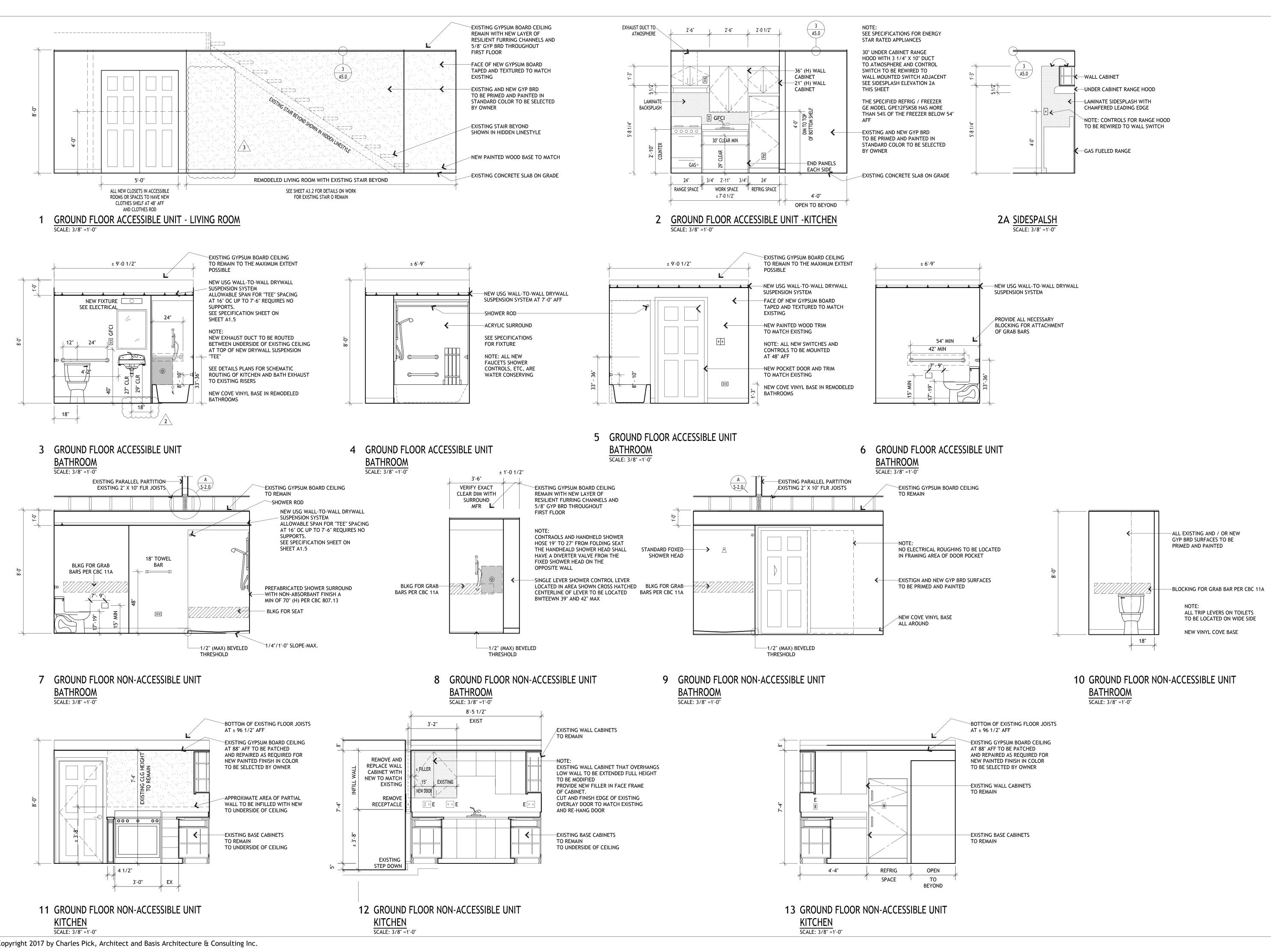
SHEET TITLE:

BUILDINGS 1, 2 + 3 COMMON AREAS PLANS

A1.6

SCALE: 1/4" = 1'-0"

NORTH



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CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
2 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
***************************************	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18
2 PLAN CHECK RESPONSE	5-3-2018
3 PLAN CHECK RESPONSE	5-17-2018

PROJECT NAME:

**GOLDEN APARTMENTS** 

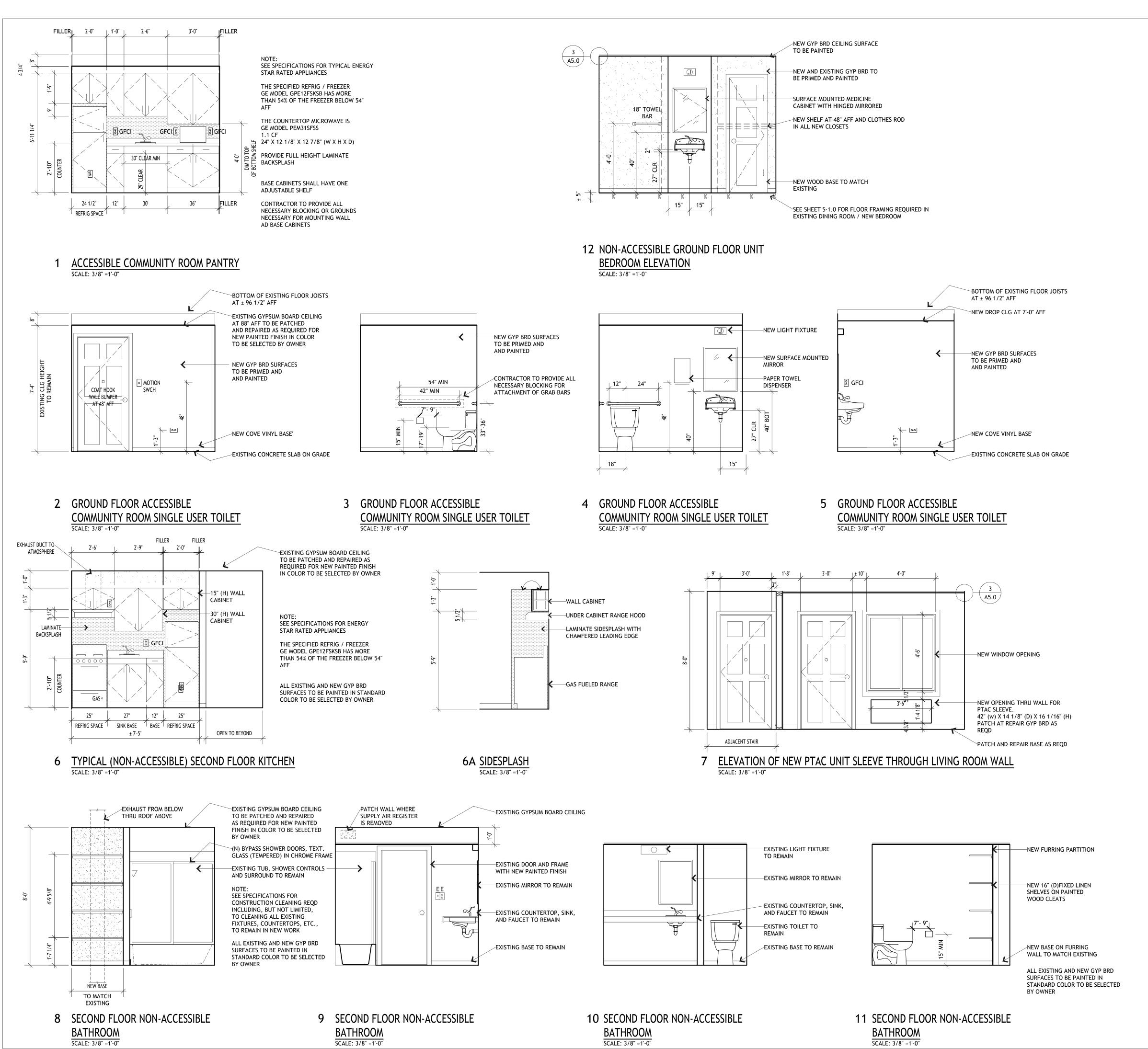
**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

**INTERIOR ELEVATIONS** 



# BASIS & Consulting

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P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
***************************************	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

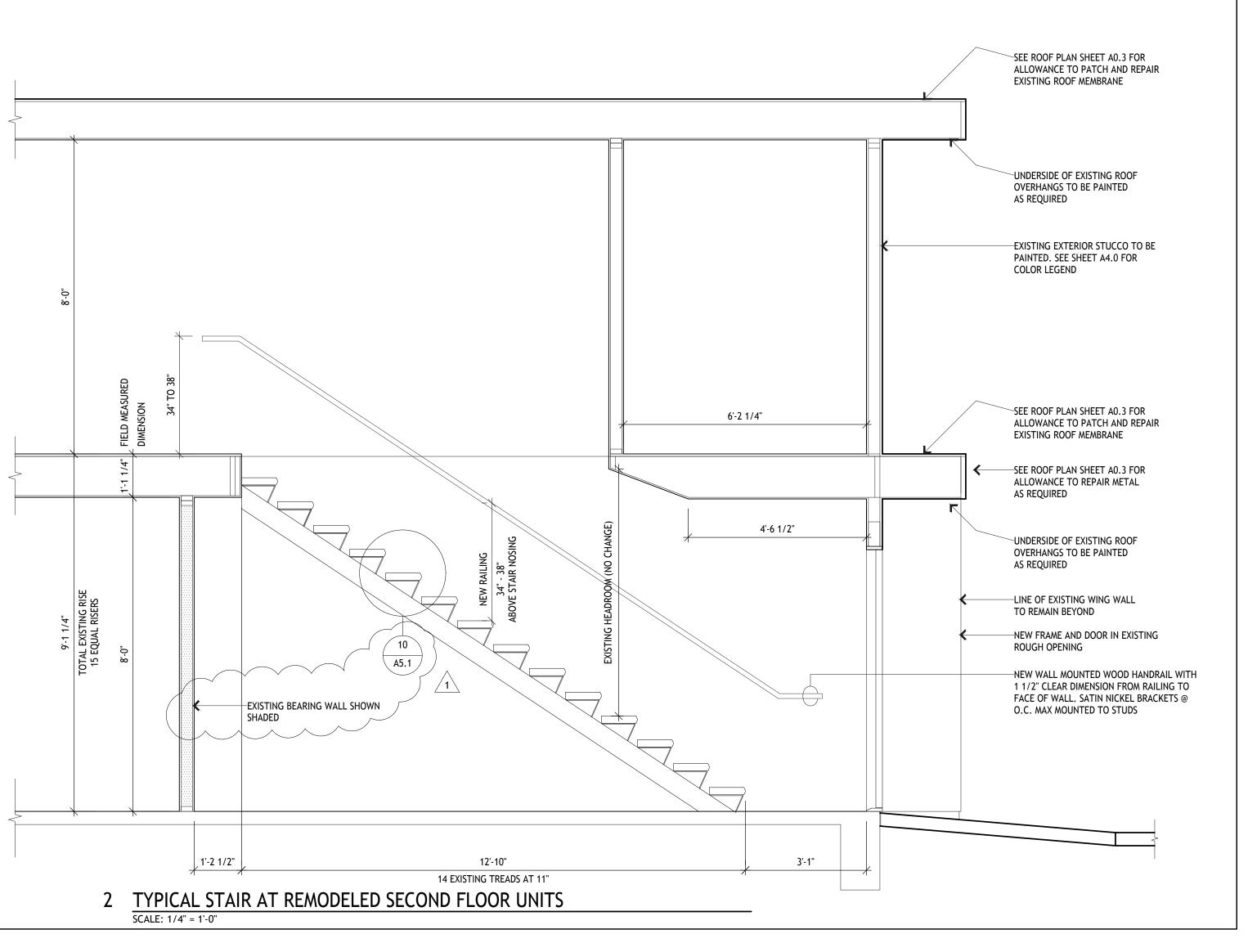
SHEET TITLE:

INTERIOR ELEVATIONS

A3.1

# A3.2 EXISTING CEILING ON UNDERSIDE OF ROOF JOISTS TO REMAIN EXISTING COMMON WALL TO REMAIN NO CHANGE EXISTING PARTITION TO REMAIN— NEW PARTITION CLOSES EXISTING— OPENING THRU FLOOR 3'-6 1/2" A5.4 TOP OF EXISTING SECOND FLOOR EXISTING PRECAST CONCRETE STAIR ON STEEL STRINGERS TO REMAIN WITH NEW 3 NEW RESILIENT FURRING CHANNELS AND 5/8" GYP BRD ON UNDERSIDE OF EXISTING CLG RISER BLOCKS —SEE DETAIL 10 SHEET A5.4 FOR NEW RISER BLOCKS

1 TYPICAL STAIR AT REMODELED SECOND FLOOR UNITS



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LEGEND

	LLOLIND	
*	POST-MOUNTED LIGHT	
	LED WALL PACK	
	PAVING IMPROVEMENTS	
4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.	
	(N) GRADING	
	(E) WALL TO REMAIN	
===	(E) WALL TO BE REMOVED	
	(N) INTERIOR PARTITION	
***************************************	(N) 1 HOUR RATED WALL	

# DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

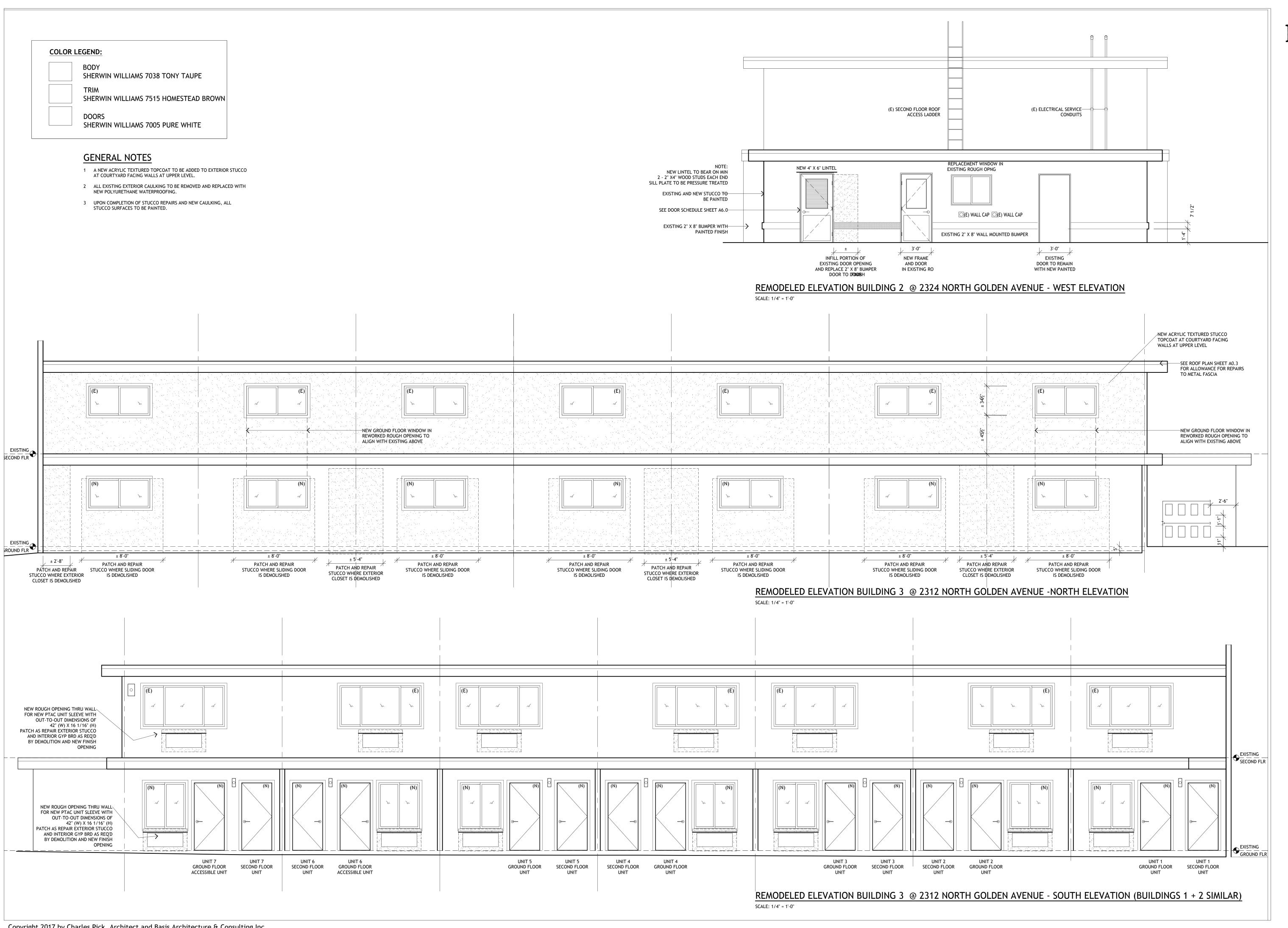
PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

EXISTING AND REMODELED **STAIRS** 

A3.2



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LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
7/////////	(N) INTERIOR PARTITION
***************************************	(N) 1 HOUR RATED WALL

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

**EXTERIOR ELEVATIONS** 

### CONTRACTOR TO EXAMINE WOOD FRAMED AND FACED "EYEBROW" FOR DRY ROT. REMOVE AND REPLACE ALL MATERIAL FOUND WITH DRY ROT 2324 NORTH GOLDEN AVENUE 2336 NORTH GOLDEN AVENUE 2312 NORTH GOLDEN AVENUE CENTERLINE OF EXISTING COURTYARD CENTERLINE OF EXISTING EXTERIOR STUCCO EXISTING COURTYARD TO BE PAINTED EXISTING EXTERIOR STUCCO EXISTING GUTTER AND DOWNSPOUT TO REMAIN NEW GUTTER AND DOWNSPOUT EXISTING GUTTER AND DOWNSPOUT TO REMAIN WALLS TO BE PAINTED TO MATCH EXISTING EXISTING WOOD FRAMED "EYEBROW" FACED WITH T1-11 PLYWOOD TO BE NEW 6' (H) STEEL FENCE SEE CIVIL ENGINEERING DWGS FOR CONSTRUCTION DETAILS PAINTED ( 2336 ) | ( 2312 ) 2324 EXISTING WOOD FRAMED "EYEBROW"-EXISTING GROUND FLOOR \_\_\_\_\_ TO BE PAINTED —PATCH AND REPAIR STUCCO AS REQUIRED BY DEMOLITION EXISTING STONE VENEER TO REMAIN-EXISTING GROUND FLOOR \_\_\_\_\_ \_\_\_\_ EXISTING PLANTER EXISTING PLANTER EXISTING PLANTER NOTES FOR THREE EXISTING PLANTERS EXISTING COURTYARD 1 WATERPROOF FOUR INTERIOR FACING WALLS OF PLANTERS -NEW 12" (H) ILLUMINATED BUILDING ADDRESS ENTRY GATE —NEW 12" (H) ILLUMINATED BUILDING ADDRESS ON 24 HR TIMER AND CIRCUIT IN EXISTING TO BE PAINTED WITH LIQUID APPLIED SILICONE LINER. ON 24 HR TIMER AND CIRCUIT IN EXISTING ELECTRICAL ROOM. ELECTRICAL ROOM (TYPICAL FOR TWO) 2 REPLACE EXISTING SOILS AND AMEND WITH NEW AS REQUIRED FONT AND COLOR TO BE SELECTED BY OWNER. FONT AND COLOR TO BE SELECTED BY OWNER. REMODELED NORTH GOLDEN AVENUE ELEVATION REPLANT EXISTING PLANT MATERIALS SAVED DURING TOP SOILS SCALE: 1/8" = 1'-0" REMOVAL TO ALLOW FOR NEW WATERPROOFING 2312 NORTH GOLDEN AVENUE 2324 NORTH GOLDEN AVENUE 2336 NORTH GOLDEN AVENUE CENTERLINE OF EXISTING COURTYARD CENTERLINE OF EXISTING COURTYARD EXISTING EXTERIOR STUCCO— EXISTING GUTTER AND DOWNSPOUT TO REMAIN EXISTING GUTTER AND DOWNSPOUT TO REMAIN FACED WALLS EXISTING WOOD FRAMED CANOPY EXISTING WOOD FRAMED "EYEBROW" REMOVE EXISTING DOOR ABANDONED (2312) EXISTING WOOD FRAMED "EYEBROW"-IN PLACE EXISTING GROUND FLOOR \_\_\_\_\_\_ TO REMAIN EXISTING EXTERIOR STORAGE CLOSET TO BE REMOVED EXISTING STONE VENEER TO REMAIN-EXISTING GROUND FLOOR EXISTING COURTYARD REMOVE STONE VENEER | REMOVE STONE VENEER EXISTING PLANTER NOTES FOR THREE EXISTING PLANTERS AND STUCCO WALL AND STUCCO WALL LINE OF STONE VENEER TO BE REMOVED ENTRY GATE TO BE SAW CUT AND CUT TO ALIGN WITH COMPLETE TO TOP OF COMPLETE TO TOP OF COMPLETE TO TOP OF 1 REMOVE EXISTING TOPSOIL TO A LINE BELOW TOP OF REMOVE EXISTING SURFACE APPLIED EXISTING FOUNDATION EXISTING FOUNDATION REVEAL IN EXISTING STUCCO EXISTING BUILDING GROUND FLOOR AND PLANT MATERIAL **BUILDING ADDRESS** TO REMAIN TO REMAIN NORTH GOLDEN AVENUE ELEVATION -EXISTING CONDITIONS AND DEMOLITION 2 STOCKPILE SOILS AND PLANT MATERIAL ON SITE FOR SCALE: 1/8" = 1'-0"

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CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 6 6 4 4 4 4 6 6 6 6 6 6 6 6 6 6 6 6 6	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
===	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

# DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

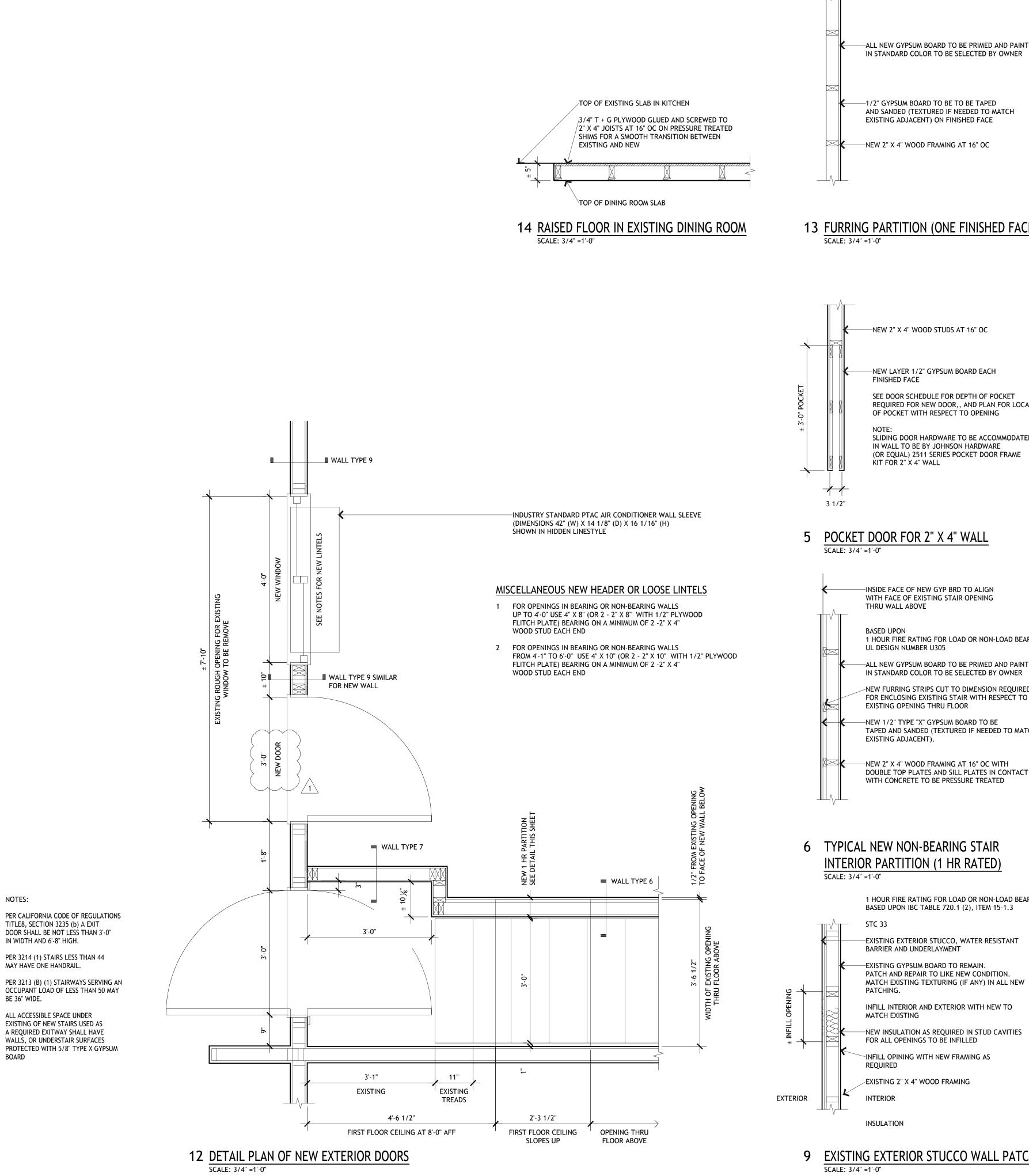
PROJECT LOCATION:

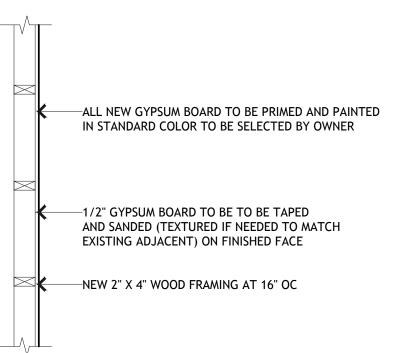
2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

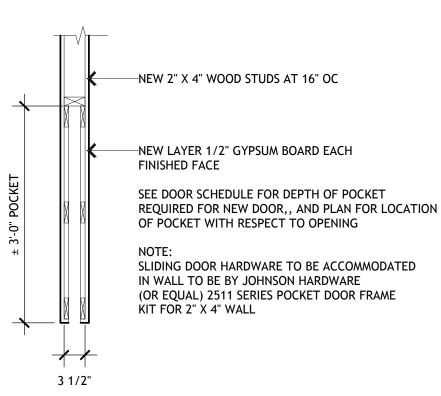
EXTERIOR ELEVATOPNS

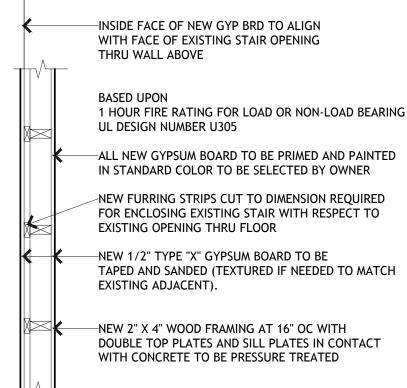
A4.1

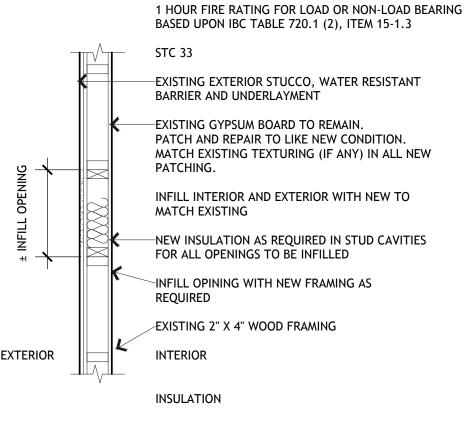




13 FURRING PARTITION (ONE FINISHED FACE)







EXISTING EXTERIOR STUCCO WALL PATCHING

# PER CBC 707.1 ALL ANNULAR SPACE AROUND ANY PENETRATING ITEM SHALL BE FIRE-STOPPED NEW PENETRATIONS OF EXISTING WOOD FRAMED 2 EXISTING CONCRETE FLOOR SLAB ON GRADE

NEW PENETRATING ITEM

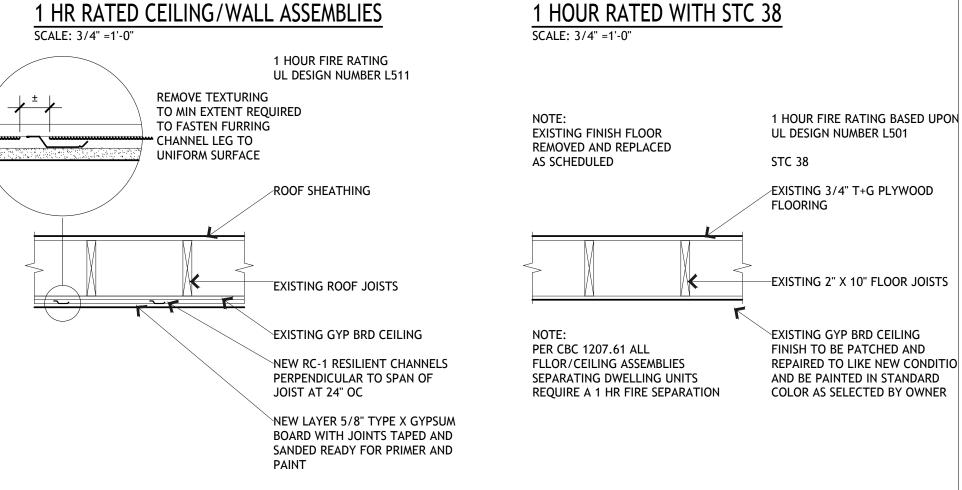
TOP OF EXISTING FLOOR

EXISTING FLOOR JOISTS

1 HOUR FIRE RATING

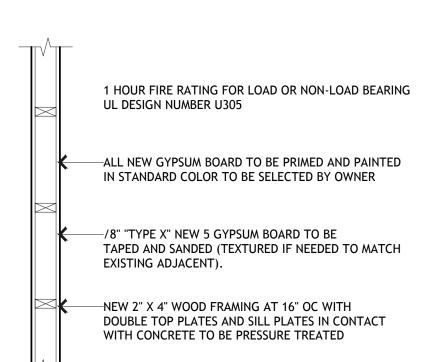
CEILING/ FLOOR ASSEMBLY WITH

FLOORING

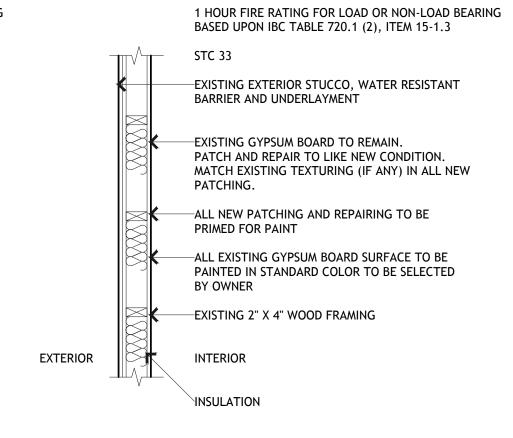


# 3 EXISTING WOOD FRAMED CEILING/FLOOR 1 HR RATED WITH STC 38 UPGRADED TO STC 50 SCALE: 3/4" =1'-0"

NOTE: DROPPED CEILING SIMILAR



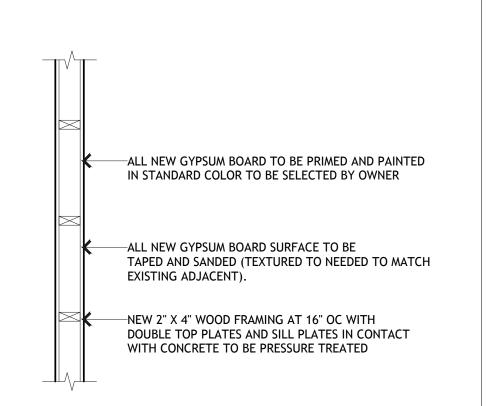
# 7 TYPICAL NEW BEARING OR NON-BEARING INTERIOR PARTITION (1 HR RATED)



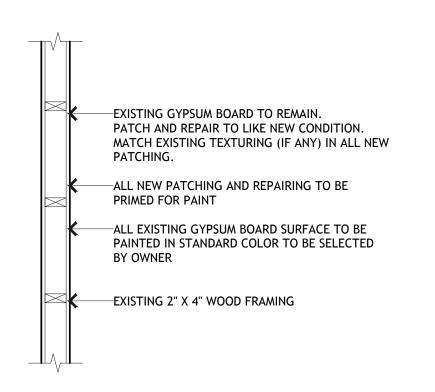
10 TYPICAL EXISTING EXTERIOR STUCCO WALL

# 4 EXISTING WOOD FRAMED CEILING/FLOOR 1 HOUR RATED WITH STC 38

SCALE: 3/4" =1'-0"



# 8 TYPICAL NEW BEARING OR NON-BEARING INTERIOR PARTITION (NON-RATED)



11 TYPICAL EXISTING INTERIOR PARTITION SCALE: 3/4" =1'-0"

CONTRACTOR TO PROVIDE ALL NECESSARY CUTTING, MATERIAL REMOVAL, TRENCHING AND PATCHING AS REQUIRED FOR NEW

ROUTING AND PLUMBING CONNECTIONS BELOW TOP OF

EXISTING SLAB

EXISTING CONCRETE

SLAB O GRADE OVER

COMPACTED BASE

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CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
	(N) GRADING
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) INTERIOR PARTITION
	(N) 1 HOUR RATED WALL

# DRAWING REVISION LOG

IN LOG
12/12/17
03/30/18

PROJECT NAME:

**GOLDEN APARTMENTS** 

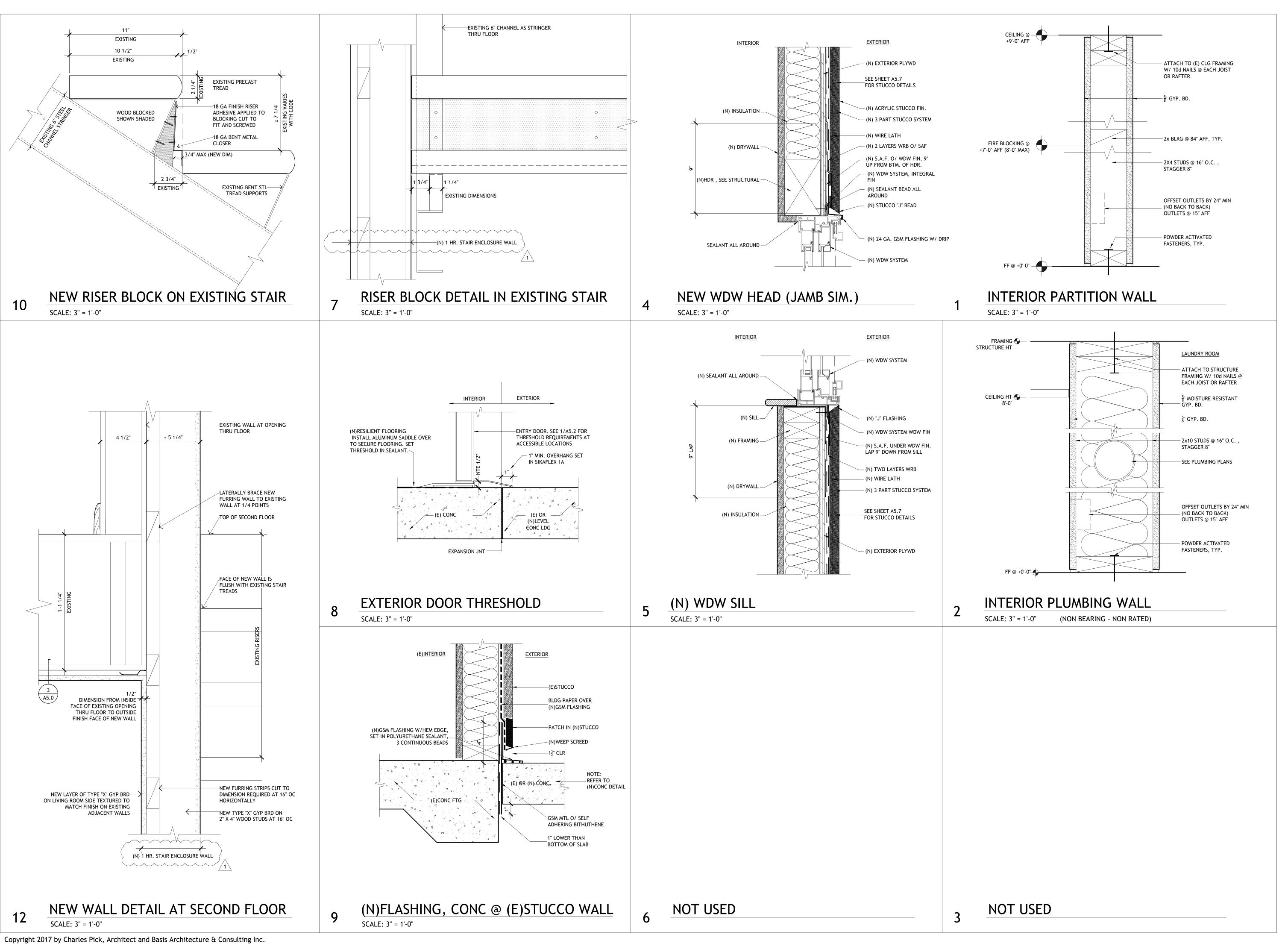
**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

WALL **DETAILS** 



# BASIS Architecture & Consulting

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CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT	
	LED WALL PACK	
	PAVING IMPROVEMENTS	
2 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.	
	(N) GRADING	
	(E) WALL TO REMAIN	
===	(E) WALL TO BE REMOVED	
://///////	(N) INTERIOR PARTITION	
*********	(N) 1 HOUR RATED WALL	

DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18

PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

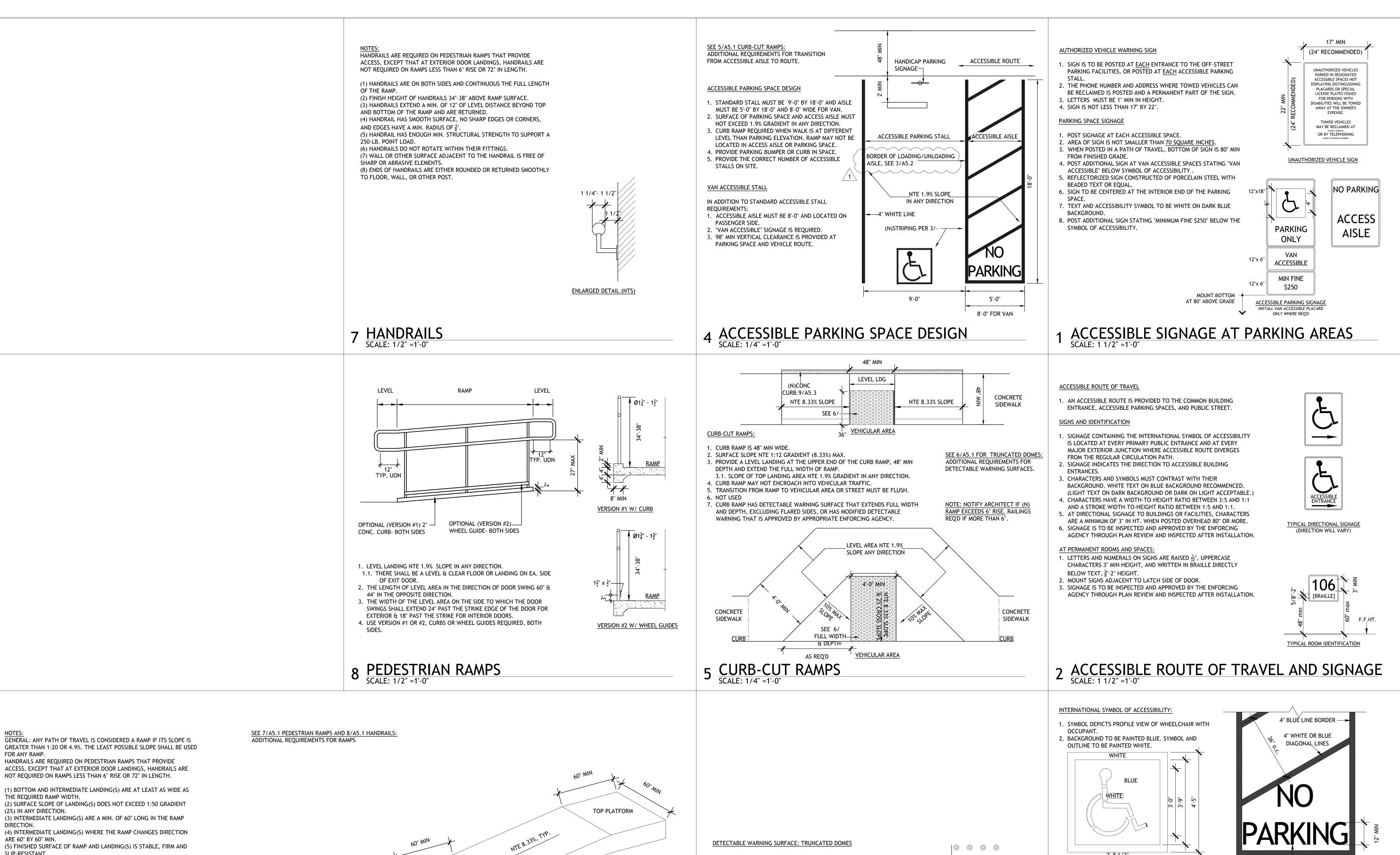
PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

**DETAILS** 

A5.1



1. DETECTABLE WARNING SURFACE EXTENDS THE FULL WIDTH AND DEPTH OF A CURB-CUT RAMP, EXCLUDING THE FLARED SIDES, IF IT ADJOINS A VEHICULAR TRAFFIC WAY. 2. DETECTABLE WARNING SURFACE CONTRASTS VISUALLY WITH

ADJOINING SURFACES, EITHER LIGHT ON DARK OR DARK ON LIGHT. 3. DETECTABLE WARNING SURFACE DIFFERS FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND ON CANE CONTACT.

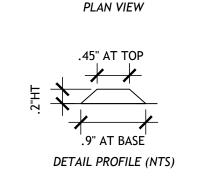
MODIFIED DETECTABLE WARNING SURFACE:

INTERMEDIATE

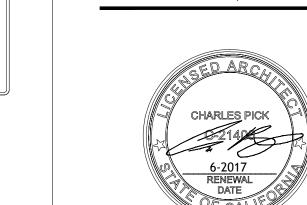
PLATFORM

1. PATTERN TO BE STAMPED IN CONCRETE. PROFILE DIMENSIONS MATCH THAT OF TRUNCATED DOMES.

2. PAINT DETECTABLE WARNING SURFACE BLACK TO CONTRAST VISUALLY WITH ADJOINING SURFACES.



6 GROOVED BORDER & DETECTABLE WARNING
SCALE: 1 1/2" =1'-0"



LEGEND

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SAN RAFAEL, CA 94901

PHONE (415) 457-6035

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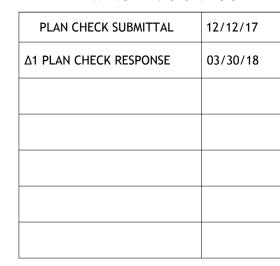
P.O.BOX 150539

SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT

*	POST-MOUNTED LIGHT	
	LED WALL PACK	
	PAVING IMPROVEMENTS	
4 6 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.	
	(N) GRADING	
	(E) WALL TO REMAIN	
===	(E) WALL TO BE REMOVED	
71111111111	(N) INTERIOR PARTITION	
***************************************	(N) 1 HOUR RATED WALL	

DRAWING REVISION LOG



PROJECT NAME:

**GOLDEN APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

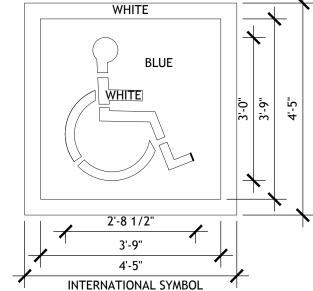
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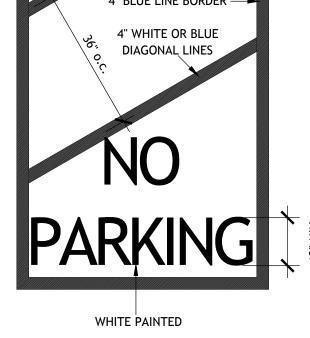
SHEET TITLE:

**ACCESSIBILITY DETAILS: EXTERIOR** 

A5.2



OF ACCESSIBILITY (ISA) MARKING



1. THE DESIGN DETAILS FOR THIS SYMBOL, LEGENDS AND RELATED MARKINGS ARE SHOWN IN THE DEPARTMENT OF TRANSPORTATION STANDARD PLANS. SEE STANDARD PLAN 24C FOR SQUARE UNIT AREA FOR ISA MARKING. 2. THE WORDS "NO PARKING" SHALL BE PAINTED IN THE LOADING AND UNLOADING AREA IN WHITE LETTERS NO LESS

THAN 12" IN HEIGHT ON A CONTRASTING BACKGROUND AND LOCATED SO THAT IT IS VISABLE TO TRAFFIC ENFORCEMENT OFFICIALS. SEE STANDARD PLAN A24E FOR SQUARE UNIT AREA FOR "NO PARKING" LEGEND. 3. LOADING AND UNLOADING AREA BORDER SHALL BE MARKED IN BLUE PAINT.

SEE MUTCD 2014 EDITION

3 ACCESSIBLE PARKING SPACE STRIPING

LEVEL LANDING

SLIP-RESISTANT.

ON EACH SIDE OF THE RAMP.

DOES NOT ACCUMULATE ON WALKING SURFACES.

9 GENERAL RAMP
SCALE: 1/4" =1'-0"

(6) RAMPS AND LANDINGS WITH DROP-OFFS HAVE EDGE PROTECTION

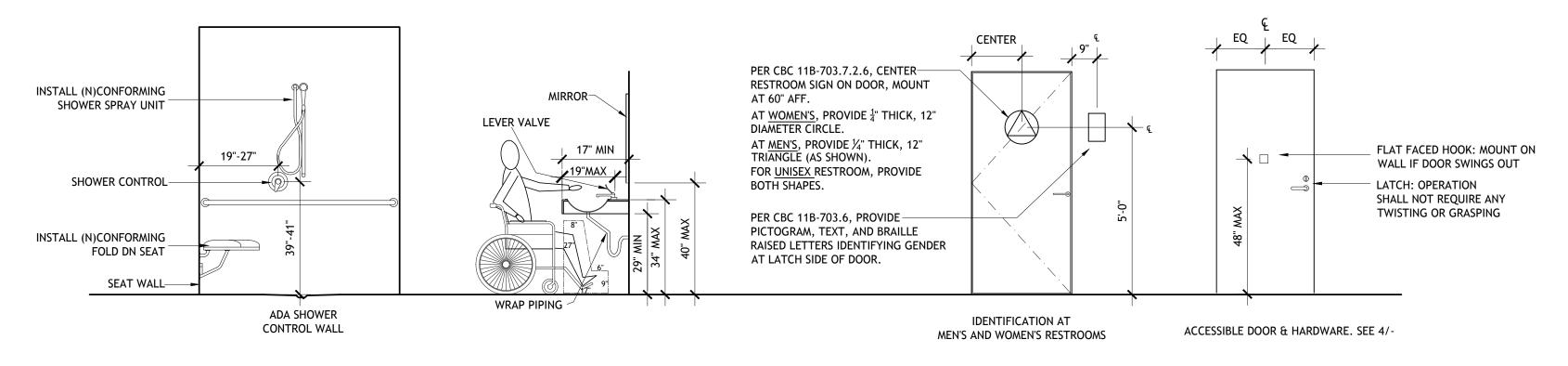
CONSISTING OF EITHER A GUIDE CURB A MIN. 2" IN HEIGHT ON EACH SIDE

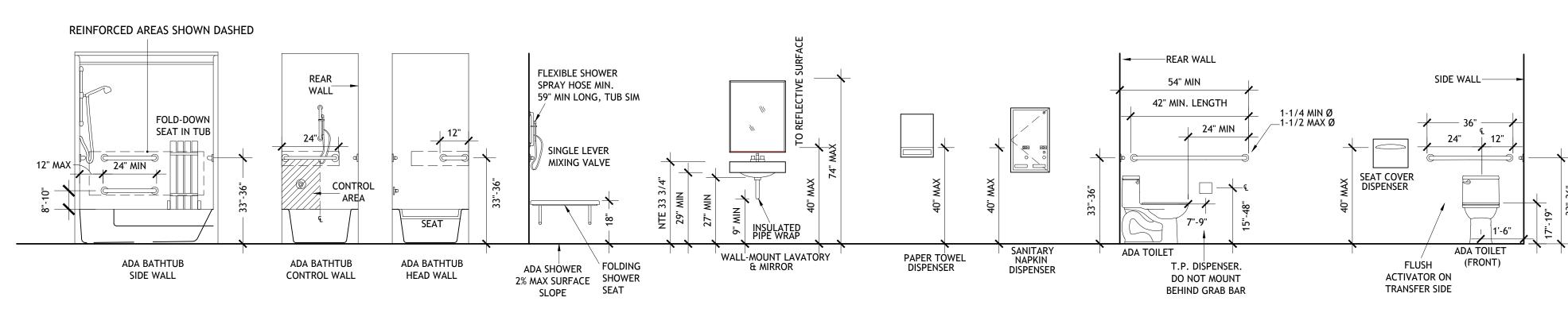
(7) OUTDOOR RAMP(S) AND THEIR APPROACHES ARE DESIGNED SO WATER

OF THE RAMP, OR A WHEEL GUIDE RAIL CENTERED 3" PLUS OR MINUS 1"

- 1. GRAB BARS AND TOILET SEAT AND ALL ASSOCIATED FASTENERS SHALL SUSTAIN 250 POUND FORCE IN DIRECT LOAD, POINT LOAD OR SHEAR AT ANY POINT. GRAB BARS SHALL NOT ROTATE WITHIN FITTINGS. INSTALL
- BLOCKING AS REQUIRED. 2. WALL SURFACES SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF
- 3. ALL FAUCETS SHALL BE OF LEVER TYPE AND USABLE WITH ONE HAND TO OPERATE.

PROVIDE SHOWER/TUB WITH SHOWER SPRAY UNIT WITH A HOSE 59" LONG MINIMUM THAT CAN BE USED BOTH AS A FIXED POSITION SHOWER HEAD AND AS A HAND-HELD SHOWER. THE SHOWER SPRAY UNIT SHALL HAVE AN ON/OFF CONTROL WITH A NON-POSITIVE SHUT OFF.





ROOM IDENTIFICATION AND OR "EXIT" SIGN,  $\frac{1}{4}$ " THICK

12" WIDE W/ BRAILLE RAISED LETTERS, MNT AT LATCH SIDE OR IF NO SPACE AT THE LATCH SIDE, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL NEAREST WALL & ETC

# E REFERENCE MOUNTING HEIGHTS FOR BATHS

SCALE: 3/8" =1'-0"

9 HANDRAILS
SCALE: 1 1/2" =1'-0"

HANDRAILS ARE REQUIRED ON PEDESTRIAN RAMPS THAT PROVIDE ACCESS, EXCEPT THAT AT EXTERIOR DOOR LANDINGS, HANDRAILS ARE NOT REQUIRED ON RAMPS LESS THAN 6" RISE OR 72" IN LENGTH.

(1) HANDRAILS ARE ON BOTH SIDES AND CONTINUOUS THE FULL LENGTH OF THE RAMP. FINISH HEIGHT OF HANDRAILS 34"-38" ABOVE RAMP SURFACE.

(3) HANDRAILS EXTEND A MIN. OF 12" OF LEVEL DISTANCE BEYOND TOP AND BOTTOM OF THE RAMP AND ARE RETURNED. (4) HANDRAIL HAS SMOOTH SURFACE, NO SHARP EDGES OR CORNERS, AND EDGES HAVE A MIN. RADIUS OF  $\frac{1}{8}$ ".

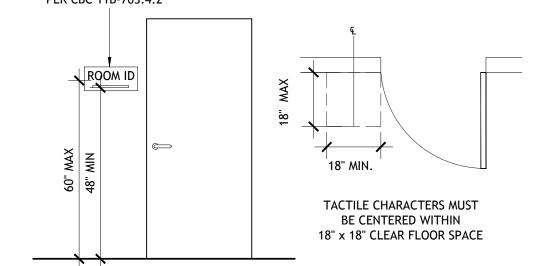
(5) HANDRAIL HAS ENOUGH MIN. STRUCTURAL STRENGTH TO SUPPORT A 250-LB. POINT LOAD. (6) HANDRAILS DO NOT ROTATE WITHIN THEIR FITTINGS.

(7) WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL IS FREE OF SHARP OR ABRASIVE ELEMENTS. (8) ENDS OF HANDRAILS ARE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL, OR OTHER POST.

1 1/4"- 1 1/2"

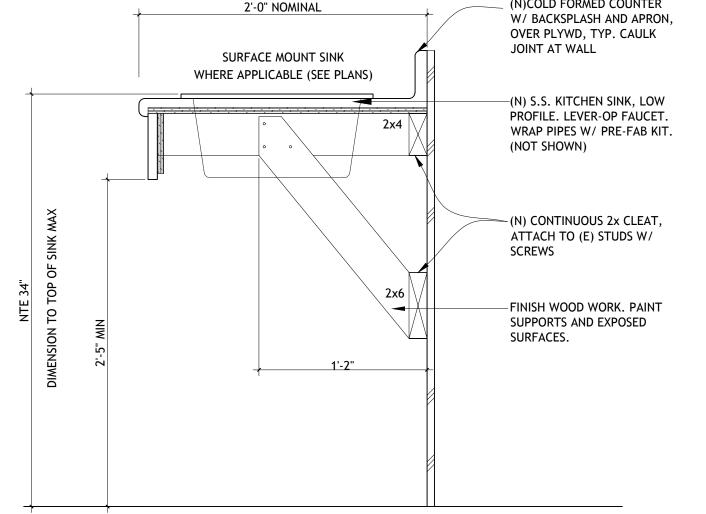
# ENLARGED DETAIL (NTS)

# PER CBC 11B-703.4.2



# 7 INTERIOR OR EXTERIOR ROOM I.D.

## (N)COLD FORMED COUNTER 2'-0" NOMINAL W/ BACKSPLASH AND APRON, OVER PLYWD, TYP. CAULK JOINT AT WALL SURFACE MOUNT SINK WHERE APPLICABLE (SEE PLANS) -(N) S.S. KITCHEN SINK, LOW PROFILE. LEVER-OP FAUCET. WRAP PIPES W/ PRE-FAB KIT.



LAUNDRY FOLDING COUNTER AND SINK SCALE: 1 1/2" = 1'-0"

# 6 ACCESSIBILITY NOTES

# ACCESSIBLE REACH RANGES:

. A CLEAR FLOOR SPACE (30"x48") SHALL BE PROVIDED FOR EITHER A

# FORWARD REACH:

- 2.1. UNOBSTRUCTED: THE HIGH FORWARD REACH SHALL BE 48 INCHES MAXIMUM AND THE LOW FORWARD REACH SHALL BE 15 INCHES
- MINIMUM ABOVE THE F.F. OR GROUND. 2.2. OBSTRUCTED HIGH REACH: WHEN REACHING OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REQUIRED REACH DEPTH OVER THE OBSTRUCTION. THE HIGH FORWARD REACH SHALL BE 48 INCHES ABOVE F.F. MAXIMUM WHERE REACH DEPTH IS UP TO 20 INCHES, AND 44 INCHES ABOVE F.F. WHEN REACH DEPTH IS 20-25 INCHES MAXIMUM. NO OBSTRUCTION MAY BE GREATER THAN 25".

# SIDE REACH:

- 3.1. UNOBSTRUCTED: THE HIGH SIDE REACH SHALL BE 48 INCHES ABOVE F.F. MAXIMUM AND THE LOW SIDE REACH SHALL BE 15
- INCHES MINIMUM ABOVE F.F. OR GROUND. 3.2. OBSTRUCTED HIGH REACH: WHEN THE SIDE REACH IS OVER AN OBSTRUCTION, THE HEIGHT OF THE OBSTRUCTION SHALL BE 34 INCHES MAXIMUM AND THE DEPTH OF THE OBSTRUCTION SHALL BE 24 INCHES MAXIMUM. THE HIGH SIDE REACH SHALL BE 48 INCHES AND THE FOR A REACH DEPTH UP TO 10 INCHES, AND 46 INCHES MAXIMUM FOR A REACH DEPTH OF 10-24 INCHES MAXIMUM.

# 4. OPERABLE PARTS:

- 4.1. OPERABLE PARTS SHALL BE WITHIN REACH THE ACCESSIBLE REACH RANGES.
- 4.2. OPERATIONAL PARTS SHALL HAVE THE REQUIRED CLEAR FLOOR
- 4.3. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.

# **COMMUNICATIONS FEATURES:**

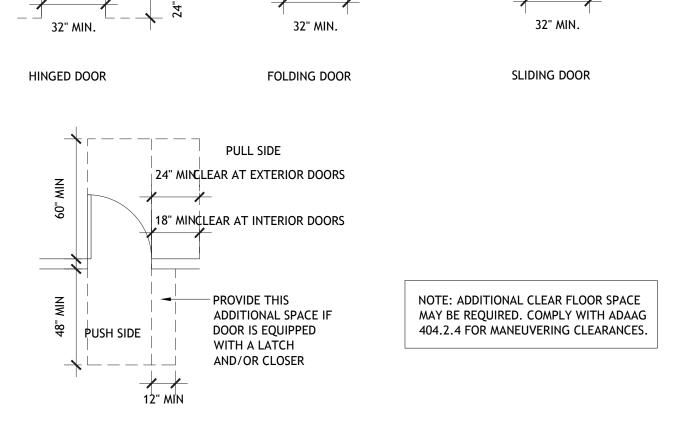
- NOTIFICATION: A DOOR BELL SHALL BE PROVIDED THAT INDICATES AN AUDIBLE TONE AND VISUAL SIGNAL WITHIN THE UNIT.
- 2. IDENTIFICATION: A PEEPHOLE WITH A MINIMUM VIEWABLE ANGLE OF 180 DEGREES & MOUNTED AT 43 INCHES ABOVE F.F. SHALL BE INSTALLED AT UNIT ENTRANCE DOORS.

## NOTE: FLOORING TYPE MAY NOT BE REPRESENTATIVE OF ACTUAL PRODUCT SPECIFIED. SEE NEW UNIT FLOOR PLANS AND/OR SPECIFICATIONS FOR DETAILS. → DR JAMB BEYOND — COMPRESSED CARPET 1/4" MAX. BELOW THRESHOLD DOOR FINISH FLOOR EVEN BEVELED SLOPE NOT / STEEPER THAN 1:2 1/4" MAX. THRESHOLD DIAGRAM: NOT TO SCALE 1/4" MAX.

# **THRESHOLD**

SCALE: 3"= 1'-0"

NOTE: PROVIDE BUMPER IN POCKET TO PREVENT DOOR FROM FULLY RECEDING.

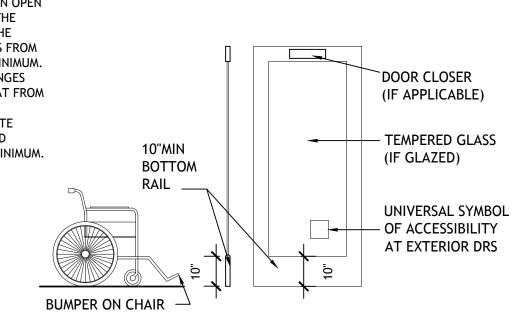


# MIN. CLEARANCES AT DOORS

 DOOR AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE

TIME REQUIRED TO MOVE THE DOOR POSITION 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. DOOR AND GATE SPRING HINGES SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR OR GATE SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.

SCALE: 1/4" =1'-0"

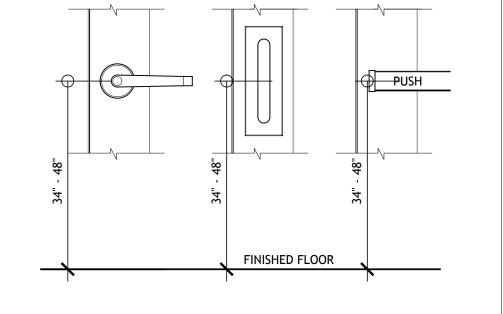


# DOOR CLOSER AND KICKPLATE

SCALE: 3/8" =1'-0"

OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5LBS

> OPERABLE PARTS OF HARDWARE SHALL BE MOUNTED 34" MIN -48" MAX ABOVE F.F. OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.



PUSH/PULLS

PANIC BARS

# DOOR HARDWARE SCALE: 1 1/2" =1'-0"

2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



## LEGEND

*	POST-MOUNTED LIGHT	
	LED WALL PACK	
	PAVING IMPROVEMENTS	
4 1 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.	
	(N) GRADING	
	(E) WALL TO REMAIN	
===	(E) WALL TO BE REMOVED	
://////////////////////////////////////	(N) INTERIOR PARTITION	
***************************************	(N) 1 HOUR RATED WALL	

# DRAWING REVISION LOG

PLAN CHECK SUBMITTAL	12/12/17		
Δ1 PLAN CHECK RESPONSE	03/30/18		

PROJECT NAME:

**GOLDEN APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

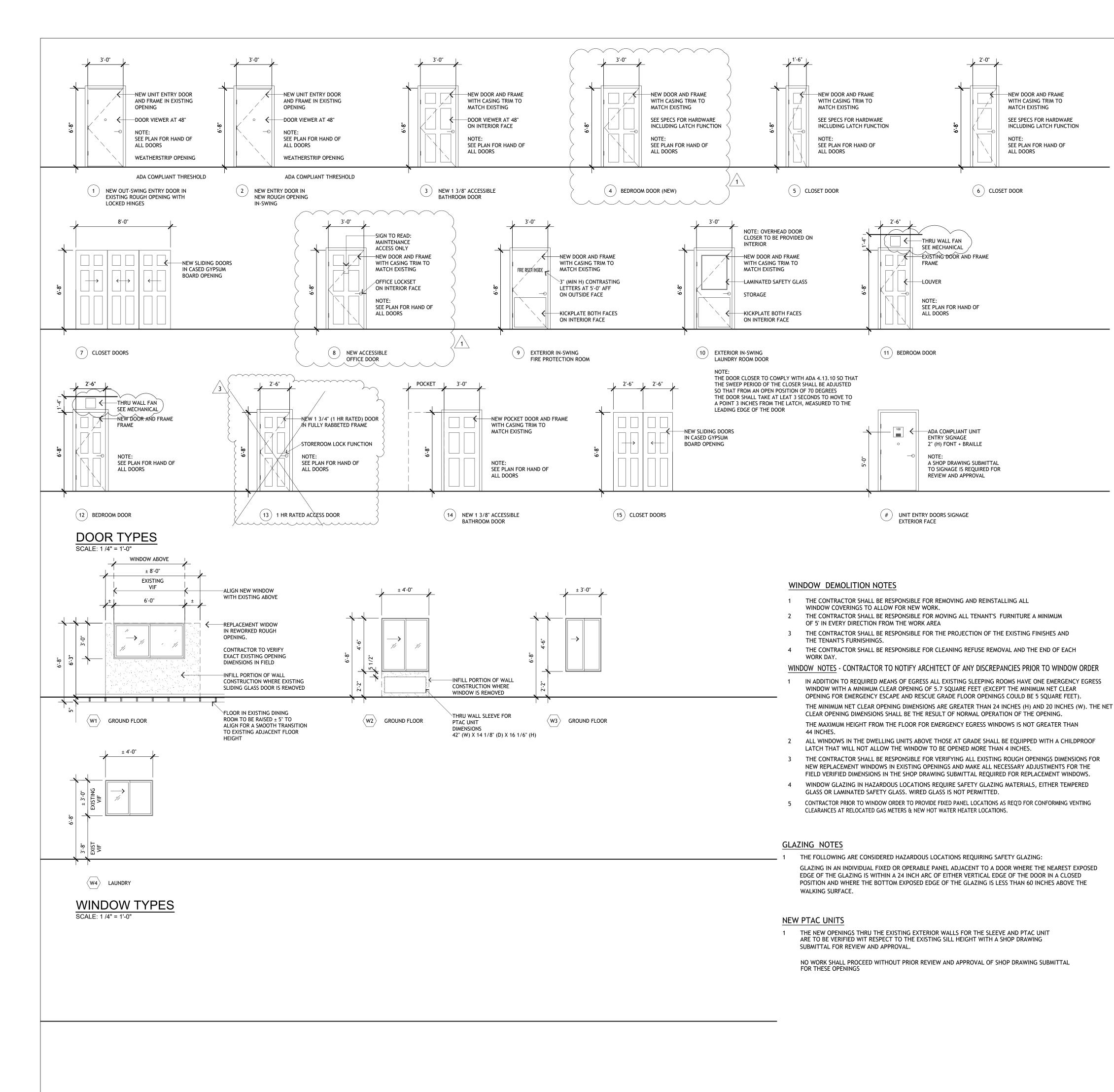
2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

ACCESSIBILITY DETAILS: **INTERIOR** 

SCALE: AS NOTED

A5.3



	#	LOCATION	DOOR SIZE	DOOR TYPE	HARDWARE FUNCTION	NOTES
	1	UNIT ENTRY OUT-SWING	3'-0" X 6'-8" X 1 3/4" DOOR AND FRAME IN EXISTING OPENING	HINGED INSULATED FIBERGLASS	ENTRY	FURNISH WITH ADA CONFORMING LEVER HARDWARE, THRESHOLD AND DOOR VIEWER
	2	UNIT ENTRY IN-SWING	3'-0" X 6'-8" X 1 3/4" DOOR AND FRAME IN NEW OPENING	HINGED INSULATED FIBERGLASS	ENTRY	FURNISH WITH ADA CONFORMING LEVER HARDWARE, THRESHOLD AND DOOR VIEWER
	3	TYPICAL UNIT BATHROOM	3'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	FURNISH WITH ADA CONFORMING LEVER HARDWARE, AND ROBE HOOK ON INTERIOR FACE
						NOTE: FOR SINGLE USER TOILET ROOM DOORS IN COMMUNITY ROOM PROVIDE CLOSER AND PRIVACY LOCKSET
ľ	4	BEDROOM	3'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	
	5	CLOSET	1-6" X 6-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	
	6	CLOSET	2'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	
	7	CLOSET	SLIDING DOORS IN 8'-0" X 6'-8" CASED GYP BRD OPENING	SLIDING MASONITE	-	-
	8	COMMUNITY ROOM OFFICE	3'-0" X 6'-8 X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	OFFICE	-
	9	FIRE SPRINKLER ROOM	3'-0" X 6'-8" X 1 3/4" DOOR AND FRAME IN NEW OPENING	HINGED INSULATED FIBERGLASS	VERIFY	VERIFY KEYING REQUIREMENTS WITH SAN BERNARDINO COUNTY FIRE DEPT
	10	LAUNDRY	3'-0" X 6'-8" X 1 3/4" DOOR AND FRAME IN EXISTING OPENING	HINGED INSULATED FIBERGLASS	VERIFY	SEE NOTE ON COMPLIANCE REQUIREMENTS FOR CLOSER
	11	BEDROOM	EXISTING DOOR AND FRAME	HINGED MASONITE	PASSAGE	
	12	BEDROOM	2'-6" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	HINGED MASONITE	PASSAGE	
	13	NOT USED				
	14)	ACCESSIBLE UNIT BATHROOM	3'-0" X 6'-8" X 1 3/8" DOOR AND FRAME IN NEW OPENING	POCKET MASONITE	PASSAGE	FURNISH WITH ADA CONFORMING PULL
	(15)	CLOSET	SLIDING DOORS IN 5'-0" X 6'-8" CASED GYP BRD OPENING	SLIDING MASONITE	-	-

NOTE

1 CONTRACTOR TO VIF ALL SIZES FOR NEW DOORS IN EXISTING ROUGH OPENINGS

2 PATCH AND REPAIR ALL STUCCO AS REQUIRED FOR NEW DOORS IN EXISTING OR NEW ROUGH OPENINGS

W	INDOW SCHE	DULE			
*	WINDOWS DIMENSIONS CONTRACTOR TO VIF	OPERATION	GLAZING	LOCATION	NOTES
W1	REPLACEMENT WINDOW 3'-0" X 6'-0' IN EXISTING ± 4'-0" X 6'-8" SLIDING DOOR OPENING	FIXED/SLIDER	DUAL GLAZED WITH LOW E GLASS	FIRST FLOOR	CONTRACTOR TO VERIFY EXACT ROUGH OPENINGS AND PORTION TO BE INFILLED TO ALIGN WITH EXISTING WINDOW ABOVE  LIGHT 14.0 SF  VENT 7.0 SF
<b>W2</b>	REPLACEMENT WINDOW IN ± 4'-0" X 4'-6" ROUGH OPENING	FIXED/SLIDER	TEMPERED DUAL GLAZED WITH LOW E	FIRST FLOOR	LIGHT 14.8 SF VENT 7.4 SF
<b>W3</b>	REPLACEMENT WINDOW IN ± 3'-0" X 4'-8" ROUGH OPENING	FIXED/SLIDER	DUAL GLAZED WITH LOW E	FIRST FLOOR	LIGHT 10.6 SF VENT 5.3 SF
⟨W4⟩	REPLACEMENT WINDOW IN ± 3'-0" X 4'-0" EXISTING OPENING	FIXED/SLIDER	DUAL GLAZED WITH LOW E	LAUNDRY	LIGHT 9.4 SF VENT 4.7 SF

NOTES:

CONTRACTOR TO VIF ALL SIZES & REPLACEMENTS (R) = REPLACE EXISTING (N) = NEW

ALL NEW WINDOWS TO BE MILGARD STYLINE. SEE SPECIFICATIONS.

THE OPERABLE PORTION OF THE WINDOWS IS TO BE PROTECTED WITH INSECT SCREENS

# BASIS Architecture & Consulting

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P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT



LEGEND

*	POST-MOUNTED LIGHT
	LED WALL PACK
	PAVING IMPROVEMENTS
4 6 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	(N) CONCRETE ANTICIPATED, V.I.F.
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# DRAWING REVISION LOG

DRAWING REVISION	N LOG
PLAN CHECK SUBMITTAL	12/12/17
Δ1 PLAN CHECK RESPONSE	03/30/18
3 PLAN CHECK RESPONSE	5-17-2018

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

WINDOW AND DOOR SCHEDULES

A6.0

## **GENERAL**

- 1.0 WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
- 1.1 THESE GENERAL REQUIREMENTS UNLESS OTHERWISE NOTED ON PLANS OR
- SPECIFICATIONS.

  1.2 INTERNATIONAL BUILDING CODE, IBC 2015 / 2016 CBC
- 1.3 ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
   1.4 STANDARD SPECIFICATIONS OF ASTM AS NOTED HEREIN ARE REQUIRED BY
- THE BUILDING CODE OR 2016 CBC

  2.0 IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- 3.0 ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENT OVER SCALE OF DRAWINGS.
- 4.0 ENGINEER OR ARCHITECT OF RECORD IS TO BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY QUESTION ARISE PERTAINING THE WORKING DRAWINGS AND/OR SPECIFICATIONS.
- 5.0 NO DEVIATIONS FROM THESE REQUIREMENTS AND STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD BY THE INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.
- 6.0 THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT OR ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER SHALL NOT IMPLY THE ASSUMPTION OF ANY RESPONSIBILITY IN THIS REGARD.
- 7.0 SPECIAL INSPECTIONS SECTION 1705:
- 7.1 ALL STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCING STEEL AND WELDING OF STEEL DECKING.
- 7.2 INSTALLATION AND TIGHTENING OPERATIONS FOR ALL HIGH-STRENGTH FRICTION BOLTING (A325F).
- 7.3 INSTALLATION AND TIGHTENING OPERATIONS FOR ALL HIGH-STRENGTH
- ANCHOR BOLTS.

  7.4 DURING THE TAKING OF TEST SPECIMENS AND PLACING OF ALL REINFORCED CONCRETE, WITH THE EXCEPTION OF FOUNDATION CONCRETE WHEN THE
- STRUCTURAL DESIGN STRENGTH IS NO GREATER THAN F'C=2500 PSI.

  7.5 DURING THE PLACEMENT OF ALL MASONRY INDICATED ON THE DRAWINGS AS HAVING "SPECIAL INSPECTION".
- 7.6 DURING DRIVING AND TESTING OF PILES AND CONSTRUCTION OF CAST—IN—PLACE DRILLED PILES OR CAISSONS.

# STRUCTURAL WOOD

## 1.0 MINIMUM QUALITY

- 1.1 ALL STRUCTURAL WOOD SHALL BE OF DOUGLAS FIR LARCH SPECIES, (19% MAXIMUM MOISTURE CONTENT).
- 1.2 ALL MACHINE BOLTS SHALL CONFORM TO ASTM A307, UNLESS OTHER-WISE NOTED.
- 1.3 ALL NAILS SHALL BE SINKER NAILS, UNLESS OTHERWISE NOTED.
- 1.4 CONTINUE PLYWOOD ROOF SHEATHING UNDER ALL CALIFORNIA FRAMING.

## 2.0 FRAMING

- 2.1 ALL FRAMING, BRACING, NAILING, NOTCHING, DRILLING OR BORING SHALL BE IN ACCORDANCE WITH 2016 CBC UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED.
- 2.2 AN AITC CERTIFICATE OF CONFORMANCE FOR GLUED-LAMINATED MEMBERS MUST BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO INSTALLATION; ALSO, SHOULD HAVE MINIMUM 2400 PSI FLEXURAL STRESS, DF/DF-V4 WITH STANDARD CAMBER (U.N.O.)
- 2.3 ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH EARTH, AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATION, SHALL BE PRESSURE TREATED WOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY.
- 2.4 ALL FRAMING CONNECTIONS SHALL BE "SIMPSON STRONG—TIE" AS SPECIFIED ON THE PLANS. CONNECTORS BY MANUFACTURERS OTHER THAN SIMPSON MAY BE USED PROVIDED THE CAPACITY MEETS OR EXCEEDS OF THE SPECIFIED SIMPSON PART AND THERE IS A CURRENT ICBO APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CONVERSION LIST REFLECTING THE ALLOWABLE LOADS AND THE ICBO NUMBER.
- 2.5 STUD WALLS PERPENDICULAR TO A CONCRETE OR MASONRY WALL SHALL BE BOLTED TO THE CONCRETE OR MASONRY WALL WITH 1/2" DIAMETER X 8" A307 BOLTS AT TOP, MID—HEIGHT AND BOTTOM.
- 2.6 HOLES IN UNSEASONED LUMBER SHALL BE 1/32" TO 1/16" LARGER THAN THE BOLT. A WASHER NOT LESS THAN A STANDARD CUT WASHER, OR A METAL PLATE OR STRAP IN LIEU THEREOF, SHALL BE PLACED BETWEEN THE WOOD AND THE BOLT HEAD, AND BETWEEN THE WOOD AND THE NUT.
- 2.7 FRAMING IN CONTACT WITH MASONRY OR CONCRETE SHOULD BE PRESSURE TREATED LUMBER OF SAME SPECIES.
- 2.8 STRUCTURAL INFORMATION SHOWN ON FRAMING PLANS IS FOR THE MAIN STRUCTURAL ELEMENTS. NON-STRUCTURAL ELEMENTS SHALL BE CONSTRUCTED PER APPROVED CODE REQUIREMENTS.
- 2.9 CONVENTIONAL CONSTRUCTION REQUIREMENTS OF CHAPTER 23 FOR LIGHT FRAMED CONSTRUCTION SHOULD BE FOLLOWED AS REQUIRED.
- 2.10 WEIGHT OF THE ROOF IS CONSIDERED AS "38" PSF MAX. (DEAD LOAD"18" PSF & LIVE LOAD"20" PSF). IF ROOFING MATERIAL EXCEEDS THIS LOAD, THE GENERAL CONTRACTOR SHOULD NOTIFY "SCE" IN WRITING PRIOR TO CONSTRUCTION.
- 2.11 PROVIDE SOLID BLOCKING UNDER BEARING PERPENDICULAR WALLS AND DBL JOISTS UNDER BEARING PARALLEL WALLS (U.N.O.).
- 2.12 TOP PLATES OF ALL WOOD STUD WALLS TO CONSIST OF (2) 2X'S THE SAME WIDTH AS THE STUDS UNLESS OTHERWISE NOTED. TOP PLATES SHALL LAP A MINIMUM OF 48" AND BE SPLICED WITH NOT LESS THAN 6-16D NAILS SPACED NOT MORE THAN 12" ON CENTER.
- 2.13 ALL SHEAR PANELS SHALL HAVE CONTINUOUS SHEATHING MATERIAL FROM ONE END TO THE OTHER AND FROM PLATE TO PLATE AS SPECIFIED ON THE DRAWINGS. CONTRACTOR SHALL COORDINATE FRAMING SUCH THAT CONTINUITY OF SHEAR PANELS IS ASSURED.
- 2.14 AT ENDS OF SHEAR PANELS WITH POSTS, SHEATHING MATERIAL (I.E., DRYWALL OR PLYWOOD) SHALL BE EDGE NAILED TO POSTS.
- 2.15 ALL LEDGERS SHALL BE SPLICED WITH SIMPSON ST18 STRAP, (U.N.O.).
- 2.16 ALL SHEAR TRANSFER NAILING SHALL BE PER DRAWINGS, AND THE CONTRACTOR
- SHALL PROVIDE PROPER NOTIFICATION FOR INSPECTIONS TO REVIEW SAME.

  2.17 PROVIDE POSTS AT LOWER FLOOR UNDER POST OR MULTIPLE STUDS ABOVE.
  PROVIDE FULL WIDTH AND DEPTH COMPRESSION BLOCK BETWEEN FLOORS AT SUCH LOCATIONS.
- 2.18 ALL JOIST HANGERS SHALL BE SIMPSON U HANGER, ALL BEAM HANGERS SHALL
- BE SIMPSON HU HANGERS U.N.O. ON PLAN OR DETAIL.

  2.19 IF A DOUBLE SILL PLATE IS USED AT LIGHT—WEIGHT CONCRETE FLOORING,
  THEN THE FRAMING CONTRACTOR SHALL APPLY SILL PLATE NAILING TO
  BOTH SILL PLATES.

# STRUCTURAL WOOD CNTD....

### 3.0 TRUSSES

- 3.1 WOOD TRUSS MANUFACTURER SHALL SUPPLY TO THE ENGINEER AND THE BUILDING DEPARTMENT CALCLUATIONS AND SHOP DRAWINGS FOR APPROVAL OF DESIGN LOADS, CONFIGURATION (2 OR 3 POINT BEARING), AND SHEAR TRANSFER, PRIOR TO FABRICATION. IT SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER TO OBTAIN BUILDING DEPARTMENT APPROVAL OF
- CALCULATIONS AND SHOP DRAWINGS PRIOR TO FABRICATION.

  3.2 TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST LOCAL BUILDING CODE FOR ALL LOADS IMPOSED, INCLUDING LATERAL LOADS AND MECHANICAL EQUIPMENT LOADS.
- 3.3 ALL CONNECTIONS INVOLVING TRUSSES SHALL BE I.C.B.O. APPROVED AND OF ADEQUATE STRENGTH TO RESIST STRESSES DUE TO THE LOADINGS INVOLVED AND SHALL BE DESIGNED AND SPECIFIED BY THE TRUSS MANUFACTURER.
- 3.4 DEAD LOAD AND LIVE LOAD DEFLECTIONS SHALL BE LIMITED TO L/240, AND L/360, RESPECTIVELY ( U.N.O ).
- 3.5 CROSS BRIDGING AND/OR BRACING SHALL BE PROVIDED AND DETAILED BY TRUSS MANUFACTURER AS REQUIRED TO ADEQUATELY BRACE ALL TRUSSES.
- 3.6 TRUSS MANUFACTURER TO PROVIDE DETAILS WHICH ALLOW FOR NORMAL DEFLECTION WITHOUT IMPOSING LATERAL LOADS ON THEIR SUPPORTS (I.E., SCISSOR TRUSSES).

3.7 TRUSS MANUFACTURER IS REPONSIBLE FOR PROVIDING ADDITIONAL SHEAR

AND DRAG TRUSSES AS SHOWN ON THE FRAMING PLAN.

3.8 TRUSS MANUFACTURER IS RESPONSIBLE FOR REVIEWING FRAMING PLANS AND STRUCTURAL DETAILS PRIOR TO FABRICATION OF TRUSSES AND SPECIFYING HANGERS.

## 4.0 ROOF AND FLOOR SHEATHING

- 4.1 PLACE SHEATHING PERPENDICULAR TO JOISTS WITH "C" FACE DOWN.
- 4.2 THE SPACING IN INCHES OF ROOF AND FLOOR SUPPORTS OVER WHICH THE PANELS ARE APPLIED SHALL NOT EXCEED THE SPAN RATING STAMPED ON THE PANELS.
- 4.3 ALL PANELS SHALL BE IDENTIFIELD WITH THE APPROPRIATE GRADE MARK OF THE A.P.A. OR D.F.P.A.
- 4.4 IT IS RECOMMENDED, BUT NOT REQUIRED, THAT THE FLOOR SHEATHING BE GLUED TO THE JOISTS TO HELP ELIMINATE SQUEAKING.
- 4.5 ALL STRUCTURAL RATED PANELS MUST BE STAMPED BY ONE OF THE FOLLOWING
- AGENCIES APA, PFS/ TECO OR PITSBURG.

  4.6 REFER TO THE FRAMING PLANS FOR FURTHER FLOOR/ ROOF SHEATHING INFORMATION.

## 5.0 SAWN LUMBER

- 5.1 ALL SAWN LUMBER SHALL BE GRADED BY ONE OF THE FOLLOWING ORGANIZATIONS:

   W.C.L.I.B. (STANDARD GRADING RULES #16)
  - W.W.P.A. (STANDARD GRADING RULES)
     N.L.G.A. (STANDARD GRADING RULES FOR CANADIAN LUMBER, U.S. EDITION)
- 5.2 ALL SAWN LUMBER SHALL BE DOUGLAS FIR—LARCH.
- 5.3 ALL SAWN LUMBER SHALL BE DRY AND WELL SEASONED, AND THE MOISTURE CONTENT IN USE ( AT THE TIME THE STRUCTURE IS WRAPPED) SHALL NOT EXCEED 19 PERCENT,
- REGARDLESS OF THE MOISTURE CONTENT AT THE TIME OF MANUFACTURE.
- 5.4 SAWN LUMBER SHALL HAVE THE FOLLOWING MINIMUM GRADES (U.N.O.):

   ALL 4X12 & SMALLER FRAMING MEMBERS .....#2
- ALL 4X12 & SMALLER FRAMING MEMBERS .....#
   ALL 4X14, 4X16, 6X & 8X FRAMING MEMBERS .....#
- 4X4 POSTS .....STANDARD
- ALL OTHER POSTS AND TIMBERS .....#1
   ALL 2X JOISTS AND RAFTERS .....#2
- ALL 2X & 3X STUDS (UNBRACED LENGTH UP TO 10') ......STUD OR STANDARD
   ALL 2X & 3X STUDS (UNBRACED LENGTH EXCEEDING 10') .....#2
- ALL 2X TOP PLATES ......STANDARD
- MANUF. TRUSS COMPONENTS ......GRADE PER MANUF. (D.F.-LARCH ONLY)
- 5.5 ALL SILL PLATES RESTING ON CONCRETE OR MASONRY TO BE PRESSURE TREATED DOUGLAS FIR.
- 5.6 ALL GLUE-LAMINATED BEAMS SHALL BE 24F-V4 FOR SIMPLE SPAN & 24F-V8 FOR OTHER CONT. & CANTILEVERED SPANS
- 5.7 WOOD POSTS TO BE OF DECAY RESISTANT SPECIES OR PRESSURE TREATED:

   ON CONCRETE PIERS 8" ABOVE ADJACENT SOIL

# REINFORCED CONCRETE

- 1" ABOVE ADJACENT SLAB AND 8" ABOVE SOIL

# 1.0 GENERAL

- 1.1 ALL REINFORCED CONCRETE MATERIALS AND CONSTRUCTION SHALL CONFORM TO
- CHAPTER 19 OF THE 2016 CBC
- 2 ALL REINFORCING, DOWELS, HOLDOWNS, AND OTHER INSERTS SHALL BE SECURED IN POSITION & APPROVED BY THE LOCAL BUILDING OFFICIAL PRIOR TO POURING CONC.

# 2.0 MATERIALS

- 2.1 CEMENT SHALL CONFORM TO 2016 CBC AND SHALL CORRESPOND TO THAT ON
- WHICH THE SELECTION OF CONCRETE PROPERTIES WERE BASED.

  CONCRETE AGGREGATES SHALL CONFORM TO 2016 CBC
- 2.3 USE TYPE V CEMENT FOR CONCRETE IN CONTACT WITH SOIL CONTAINING SULFATE.
- (MIN. F'c =4500 PSI, MAX. W/C RATIO 0.45, PROVIDE SPECIAL INSPECTION

  .4 REINFORCING STEEL SHALL CONFORM TO ASTM A615. GRADE 40
  FOR SIZES #3 AND #4 AND GRADE 60 FOR SIZES #5 AND LARGER

# 4.0 REINFORCING STEEL

- 4.1 ALL REINFORCING STEEL SHALL CONFORM TO A.S.T.M. A-615-40 FOR #5 BARS AND
- 4.2 ALL REINFORCING STEEL SHALL CONFORM TO A.S.T.M. A-615-60 FOR #6 BARS AND LARGER
- LARGER

  4.3 ALL WELDED WIRE FABRIC TO CONFORM TO A.S.T.M. A-185. LAP TO 1-1/2 SPACES,
  12" MINIMUM. (YIELD STRENGTH = 60 KSI)

4.4 REINFORCING DETAILING, BENDING, AND PLACING SHALL CONFORM TO A.C.I. 318-14

- 4.5 WELDING OF REINFORCING STEEL SHALL CONFROM TO THE CURRENT A.W.S. STANDARDS
- USING PROPER LOW HYDROGEN WELDING RODS.

  4.6 THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE ON PLANS.
- SLABS ON GRADE ......CENTER OF SLABCONCRETE BELOW GRADE, FORMED ......2"
- CONCRETE BELOW GRADE, UNFORMED (POURED AGINST EARTH) ....3"
   CONCRETE EXPOSED TO WEATHER ......1/2"
- WALLS ......1" - COLUMNS AND BEAMS TO MAIN BARS .....2"

## REINFORCED CONCRETE CONTD....

- 4.7 ALL BARS IN CONCRETE SHALL BE LAPPED A MINIMUM OF 36 BAR DIAMETERS (2'-0"
- MINIMUM) AT ALL SPLICES, U.N.O.

  4.8 SPLICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4'-0"
- 8 SPLICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4'-0" MINIMUM.
- 4.9 ALL BARS IN MASONRY SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS (2'-0" MINIMUM) AT ALL SPLICES, U.N.O.
  4.10 PROVIDE DOWELS IN FOOTINGS AND OR GRADE BEAMS THE SAME SIZE AND NUMBER AS
- 4.10 PROVIDE DOWELS IN FOOTINGS AND/OR GRADE BEAMS THE SAME SIZE AND NUMBER AS VERTICAL WALL OR COLUMN REINFORCING. DOWELS SHALL HAVE A MINIMUM PROJECTION EQUAL TO STANDARD LAP SPLICE, U.N.O.
- 4.11 #5 OR LARGER BARS SHALL BE RE-BENT WITHOUT APPROVAL OF THE ENGINEER. ALL BAR BENDS SHALL BE MADE COLD.

4.12 ALL REINFORCING STEEL ANCHOR BOLTS, DOWELS, & INSERTS SHALL BE WELL SECURED

IN POSITION PRIOR TO INSPECTION AND PLACING OF CONCRETE OR GROUTING MASONRY.

4.13 VERTICAL BARS IN WALL SHALL BE ACCURATELY POSITIONED AT THE CENTER OF THE WALL, U.N.O., AND TIED INTO POSITION AT THE TOP AND BOTTOM AND AT INTERVALS

# STRUCTURAL STEEL

NOT EXCEEDING 192 BAR DIAMETERS.

- 1. STRUCTURAL STEEL SHALL CONFORM TO A.S.T.M. A-36, U.N.O.
- 2. STEEL PIPE SHALL CONFORM TO A.S.T.M. A-53, GRADE B.
- 3. STEEL TUBING SHALL CONFORM TO A.S.T.M. A-501 OR A-500, GRADE B.
- 4. STEEL PLATES SHALL CONFORM TO A.S.T.M. A-282, GRADE A.
- 5. MACHINE BOLTS AND ANCHOR BOLTS FOR STEEL MEMBERS SHALL CONFORM TO A.S.T.M. A-307, U.N.O. ON PLANS.
- LIGHT GA. COLD FORMED STEEL MEMBERS SHALL CONFORM TO A.S.T.M. A-441.
   HI-TENSILE BOLTS, WHERE INDICATED ON PLANS OR DETAILS, SHALL BE OF FRICTION
- TYPE AND THERE SHALL BE NO PAINT, OIL, LACQUER OR GALVANIZING BETWEEN THE CONTACT SURFACES. HI—TENSILE BOLTS SHALL CONFORM TO A.S.T.M. A—325, U.N.O. 8. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO A.W.S. D1.1 USING APPROVED
- 9. ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER USING THE ELECTRIC SHIELDED ARC PROCESS AT LICENSED SHOPS, OR OTHERWISE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
- 10. CONTINUOUS INSPECTION IS REQUIRED FOR ALL FIELD WELDING
- 11. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION, OR OTHER APPROVED WEATHER PROOFING METHODS MAY BE USED.
- 12. WHERE FINISH IS ATTACHED TO STEEL, PROVIDE 1/2" DIA. BOLT HOLES @ 36" O.C., U.N.O., FOR ATTACHMENT OF NAILERS. SEE ARCHITECTURAL DRAWINGS FOR FINISHES. (ALTERNATE-1/2" DIA. X 3" NELSON STUDS @ 36" O.C.).
- (ALTERNATE-1/2" DIA. X 3" NELSON STUDS @ 36" O.C.).

  13. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL
- FOR BUILDING" BY A.I.S.C.

  14. ALL GROUT UNDER STEEL BEARING PLATES SHALL BE SOLID DRY PACK OR NON-SHRINK
- GROUT PLACED AS DIRECTED BY THE MANUFACTURER.

  15. STEEL IS TO BE FABRICATED IN THE SHOP OF A LICENSED FABRICATOR.
- 16. SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND COMMENT PRIOR TO FABRICATION.

# CONCRETE MASONRY

## 1 O OENEDA

- 1.1 CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL COMPLY WITH 2016 CBC CHAPTER 21.
- 2.0 MATERIALS
   2.1 ALL MATERIALS MAKING UP FINISHED CONCRETE MASONRY CONSTRUCTION SHALL CONFIRM TO
- 2.2 MORTAR SHALL BE TYPE M OR S AS APPLICABLE AND SHALL BE PROPORTIONED PER SECTION 2103.9 OF 2016 CBC AND IN CONFORMANCE WITH ASTM C270, MORTAR FOR UNIT MASONRTY
- SHALL COMPLY WITH ARTICLE 2.2 OF TMS 602/ACI 530.1/ ASCE 6

  2.4 CONCRETE MASONRY UNITS FOR LOAD BEARING SYSTEMS MAY BE CONCRETE BRICK AS

2.3 GROUT SHALL HAVE INGREDIENTS PROPORTIONED PER SEC. NO. 2103.13 OF 2016 CBC AND

SPECIFIED BY ASTM C55, SPECIFICATIONS FOR CNOCRETE BUILDING BRICK.

2.5 GRADE N CONCRETE BRICKS ARE FOR USE AS VENEER AND FACING LIMITS IN EXT. WALLS

2.6 GRADE S CONCRETE BRICKS ARE FOR GENERAL USE WHERE MODERATE STRENGTH AND

# 3.0 STRENGTH

- 3.1 THE SPECIFIED COMPRESSIVE STRENGTH OF MASONRY, F'M, SHALL BE 2,000 PSI, (U.N.O.). IF HIGHER F'M IS NOTED, IT SHALL BE VERIFIED BY PRISM TESTS AS PER SECTION 2105.
- 3.2 REINFORCING SHALL HAVE A SPECIFIED YIELD STRENGTH MIN. F.Y OF 40,000 PSI, ( U.N.O.).

RESISTANCE TO FROST ACTION AND MOISTURE PENETRATION IS REQUIRED.

# FOUNDATION

# 1.0 FOUNDATION PLATES

- 1.1 FOUNDATION PLATES OR SILLS SHALL BE BOLTED TO THE FOUNDATION OR FOUNDATION WALL WITH NOT LESS THAN 5/8" NOMINAL DIAMETER STEEL BOLTS EMBEDED AT LEAST 7" INTO THE CONCRETE OR MASONRY AND SPACED NOT MORE THAN 72" APART. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" AND NOT LESS THAN 4" OF THE END OF EACH PIECE. A PROPERLY SIZED NUT AND WASHER SHALL BE TIGHTENED ON EACH BOLT TO THE PLATE. USE MIN. 3"X3"X1/4" SQUARE WASHERS. ANCHOR BOLTS & STEEL WASHER PLATES SHALL BE HOP DIPPED ZINC—COASTED STEEL PER SEC. 2304.9.5, 2308.3.3, 2308.6, 2308.12.8 AND 2308.12.9.
- 1.2 ALL INTERIOR WALLS/ NON SHEAR WALLS ON SLAB ON GRADE TO HAVE HILTI X-CP 72/ X-CF 72 SHOT PINS AND SPACED MAX. 36" ON CENTER AND MAX. 3" FROM END OF WALL, TO BE INSTALLED IN ACCORDANCE WITH ICC REPORT ESR-2379, REISSUED ON JULY 2014

# 0 HOLDOWNS

- 2.1 CONCRETE CONTRACTOR TO VERIFY LOCATION OF HOLDOWNS AND ANCHOR BOLTS WITH ROUGH
- FRAMING TO ASSURE PROPER AND ACCURATE INSTALLATION, WITH THE FRAMING CONTRACTOR.

  2.2 ALL HD'S, HDA'S, PA'S, HPAHD22'S AND MPA'S, ARE TO BE INSTALLED ACCORDING TO
- SIMPSON STRONG TIE SPECS.

  2.3 ALL HOLDOWN ANCHORS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- 2.4 PROVIDE MIN. (1) #4 REINFORCING BAR TOP & BOTTOM @ ALL CONTINUOS FOOTING, ( U.N.O.).
- 2.5 MPA'S AND HPAHD22'S SHALL BE INSTALLED IN FOOTINGS HAVING A MIN. 8" WIDTH ( U.N.O.).

  3.0 ELECTRICAL GROUND

3.1 PROVIDE ONE EXTRA #4 BAR IN FOUNDATION FOR ELECTRICAL GROUND AND LOCATION BY

# THE CONTRACTOR.

4.0 SOILS

NO SOILS REPORT IS AVAILABLE

# ABBREVIATIONS

1.	A.B.	:	ANCHOR BOLT	51.	INT.	:	INTERIOR
2.	ADDT'L	:	ADDITIONAL	52.	INT. JST.	÷	JOIST
z. 3.	ADJ.	•	ADJACENT	53.	K.P.	•	KING POST
		•			K.F.	•	
4.	ABV.	:	ABOVE	54.	K.POST	:	KING POST
5.	ALT.	:	ALTERNATE	55.	K.S.	:	KING STUD
6.	ARCH.	:	ARCHITECTURAL	56.	K.STUD	:	KING STUD
7.	B.C.	:	BOTTOM CHORD	57.	L.V.L.	:	LAMINATED VENEER LUMBER
8.	BD.	:	BOARD	58.	MANUF.	;	MANUFACTURER
9.	BLD'G	:	BUILDING	59.	MAX.	:	MAXIMUM
10.	BLK'G	:	BLOCKING	60.	M.B.	:	MACHINE BOLT
11.	BLW.	•	BELOW	61.	MIN.	:	MINIMUM
12.	BM.		BEAM	62.	M=I	•	MIRCOLAM (TJM)
13.	BOTT.	:	BOTTOM	63.	MIN. M=L MULT.	·	MULTIPLE
14.	BR'G	:	BEARING	64.	(N)	÷	NEW
		:		65.	N.T.S.	:	NOT TO SCALE
15.	CANT.	•	CANTILEVER			•	
16	C.J.	:	CEILING JOIST	66.	0.C.	;	ON CENTER
17.	C.L.	:	CENTER LINE	67.	PERP.	:	PERPENDICULAR
18.	CL'G	:	CEILING	68.	P=L	:	PARALLAM (TJM)
19.	CL.	:	CLEAR	69.	PERP. P=L P.S.L.	:	PARALLEL STRAND LUMBER
20.	COL.	:	COLUMN	70.	P.T.	:	POST TENSION
21.	CONC.	:	CONCRETE	71.	PLT.	:	PLATE
22.	CONT.	:	CONTINUOUS	72	PLYWD.	:	PLYWOOD
23.	DBL.	:	DOUBLE	73.	RAFT.	:	RAFTER
24.	DET.	•	DETAIL	74.	REINF.	•	REINFORCEMENT
25.	D.F.		DOUGLAS FIR	75.	RF.	•	ROOF
26.	DIA.	:	DIAMETER	76.	REQ'D	÷	REQUIRED
27.	DIM.	:	DIMENSION	77.	R/S	·	ROUGH SAWN
27. 28.	D.J.	•	DECK JOIST	77. 78.	SEL.	•	SELECTED
	D.J.	•		76. 79.	SEL. SHT'G	•	
29.	(E)	•	EXISTING			•	SHEATHING
30.	EA.	:	EACH	80.	SIM.	;	SIMILAR
31.	ELEV.	:	ELEVATION	81.	SIMP.	:	SIMPSON
32.	E.N.	:	EDGE NAILING	82.	SLP'G	:	SLOPING
33.	EQ.	:	EQUAL	83.	SPECS.	:	SPECIFICATIONS
34.	E/S	:	EACH SIDE	84.	SQ.	:	SQUARE
35.	E/W	:	EACH WAY	85.	STAGG.	:	STAGGERED
36.	EXT.	:	EXTERIOR	86.	STD.	:	STANDARD
37.	FDN.	:	FOUNDATION	87.	STL.	:	STEEL
38.	F. HT.	:	FULL HEIGHT	88.	STRUCT.	:	STRUCTURE
39.	F.J.	:	FLOOR JOIST	89.	T&B	:	TOP & BOTTOM
40.	FL. BM.	•	FLUSH BEAM	90.	T.C.	•	TOP OF CURB
41.	FLR.	·	FLOOR	91.	T&G	•	TOUNGE & GROOVE
42.	FRM'G	·	FRAMING	92.	THK.	•	THICK
43.	FT'G	:	FOOTING	93.	TRIM.		TRIMMER
		:			T.S.L.	:	
44.	GA.	•	GAUGE	94.		•	TOP OF SLAB LEVEL
45.	G.E.T.	•	GABLE END TRUSS	95.	TYP.	:	TYPICAL
46.	G.L.B.	:	GLU-LAM BEAM	96.	U.N.O.	:	UNLESS NOTED OTHERWISE
47.	G.T.	:	GIRDER TRUSS	97.	VERT.	:	VERTICAL
48.	HDR.	:	HEADER	98.	W/	:	WITH
49.	HNGR.	:	HANGER	99.	W/O	:	WITHOUT
50.	HORIZ.	:	HORIZONTAL				

# FASTENING SCHEDULE / TABLE 2304.10.1(\*)

CONNECTION	FASTENING	LOCATION
JOIST TO SILL/ TOP PLATE/ GIRDER	3-8D COMMON 3-10D BOX NAIL 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOE NAILS
BRIDGING/BLOCKING TO JOIST, RAFTER OR TRUSS	2-8D COMMON 2-1QD BOX NAIL 2-3"x0.131" NAILS 2-3" 14 GAGE STAPLES	TOE NAILS EACH END
1"x6" SUBFLOOR OR LESS TO EACH JOIST	2-8D COMMON 2-10D BOX NAIL	FACE NAILS
WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST	2-8D COMMON	FACE NAILS
2" SUBFLOOR TO JOIST OR GIRDER	2–16D COMMON	FACE NAILS
2 SOBI EGGIN TO GOIST GIN GINDEN	16D NAILS @ 16" O.C.	TAGE NAILS
SOLE PLATE TO JOIST/ BLOCKING	3"x0.131" NAILS @ 8" O.C. 3" 14 GAGE STAPLES @ 12" O.C. 3-16D NAILS @ 16" O.C.	TYPICAL FACE NAILS
SOLE PLATE TO JOIST/ BLOCKING AT BRACED WALL PANEL	4-3"x0.131" NAILS @ 16" O.C. 4-3" 14 GAGE STAPLES @ 16" O.C.	BRACED WALL PANELS
TOP OR BOTTOM PLATE TO STUD	3-10D BOX NAIL 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	END NAIL
STUD TO TOP OR BOTTOM PLATE	4-100 BOX NAIL 4-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOE NAIL
	2-16D COMMON 3-10D BOX NAIL 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES 16D NAILS @ 24" O.C.	END NAIL
DOUBLE STUDS	3"x0.131" NAILS @ 8" O.C. 3" 14 GAGE STAPLES @ 8" O.C.	FACE NAIL
TOP PLATE TO TOP PLATE	16D COMMON NAILS @ 16" O.C. 10D BOX NAIL 3"x0.131" NAILS @ 12" O.C.	16" o.c. FACE NAIL
TO TEATE TO TOP PEATE	3"x0.131" NAILS @ 12" O.C.   3" 14 GAGE STAPLES @ 12" O.C.   8-16D COMMON	12" o.c. FACE NAIL
TOP PLATE TO TOP PLATE, AT END JOINTS	8-16D COMMON 12-10D BOX NAIL 12-3"x0.131" NAILS 12-3" 14 GAGE STAPLES	EACH SIDE OF END JOINT, FACE NAIL (min. 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
BLOCKING BETWEEN JOISTS/ RAFTERS TO DOUBLE TOP PLATES	3-8D COMMON 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	EACH END/TOE NAIL
RIM JOIST DOUBLE TOP PLATES	8D NAILS @ 6" O.C. 3"x0.131" NAILS @ 6" O.C. 3" 14 GAGE STAPLES @ 6" O.C.	TOE NAIL
TOP PLATES, LAPS AT CORNERS	2-16D COMMON 3-19D BOX, NAIL	FACE NAIL
AND INTERSECTIONS	3-10D BOX NAIL 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TAGE WAIE
CONTINUOUS HEADER, TWO PIECES	16D COMMON @ 16" O.C.	ALONG EDGES
CEILING JOISTS TO PLATES	3-8D COMMON 5-3"x0.131" NAILS 5-3" 14 GAGE STAPLES	TOE NAIL
CONTINUOUS HEADER TO STUD	4-8D COMMON 4-10D BOX NAIL	TOE NAIL
CEILING JOISTS, LAPS OVER PARTIONS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3-16D COMMON/ MIN. 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	FACE NAIL
CEILING JOISTS TO PARALLEL RAFTERS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3-16D COMMON/ MIN. 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	FACE NAIL
RAFTERS/ TRUSS TO PLATES	2-8D COMMON 2-3"x0.131" NAILS 2-3" 14 GAGE STAPLES	TOE NAIL/ EACH END
1" DIAGONAL BRACE TO EACH STUD/ PLATE	2-8D COMMON 2-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	FACE NAIL
1"x8" & WIDER SHEATHING TO EACH BEARING	3-8D COMMON	FACE NAIL
BUILT-UP CORNER STUD	3,x0.131, NAILS @ 16, 0.C.	
SOLET OF COMMENT STOP	16D COMMON @ 24" O.C. 3"x0.131" NAILS @ 16" O.C. 3" 14 GAGE STAPLES @ 16" O.C. 20D COMMON (4" x 0.192");	32" O.C. FACE NAIL AT TOP & BOTTOM STAGGERED ON OPPOSITE SIDES
BUILT-UP GIRDER & BEAMS, 2" LUMBER  LAYERS	10D BOX (3" x 0.128"); OR 3"x0.131" NAILS @ 24" O.C. 3" 14 GAGE STAPLES @ 24" O.C. 2-20D COMMON 3-10D BOX NAIL 3-3"x0.131" NAILS 3-3"x0.131" NAILS	STAGGERED ON OPPOSITE SIDES  24" O.C. FACE NAIL AT TOP BOTTOM STAGGERED ON OPPOSITE SIDES
	3-10D BOX NAIL   3-3"x0.131" NAILS	ENDS AND AT EACH SPLICE, FACE NAIL
2" PLANKS (PLANK & BEAM - FLOOR&ROOF)	3-3"^14 GAGE STAPLES 2-16D COMMON	EACH BEARING, FACE NAIL
COLLAR TIE TO RAFTER	2-16D COMMON 3-10D COMMON 4-10D BOX NAIL 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	FACE NAIL
JACK RAFTER TO HIP	4-3" 14 GAGE STAPLES  3-10D COMMON 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	TOE NAIL
	2-16D COMMON 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	FACE NAIL
ROOF RAFTER TO TWO-PLY RIDGE BEAM	2-16D COMMON 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOE NAIL
	2-16D COMMON 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	FACE NAIL
JOIST TO BAND JOIST OR RIM JOIST	3-16D COMMON 4-10D BOX, NAIL 4-3"x0.131" NAILS 4-3"x0.131" NAILS	END NAIL
LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16D COMMON 4-10D BOX NAIL 4-3"x0.131" NAILS	EACH JOIST OR RAFTER, FACE NAIL

(\*) REFER TO THE TABLE OF CBC 2016 FOR FASTENERS INFORMATION ON THE REST OF NAILING REQUIREMENTS NOT SHOWN IN THIS TABLE

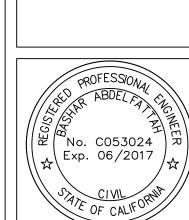
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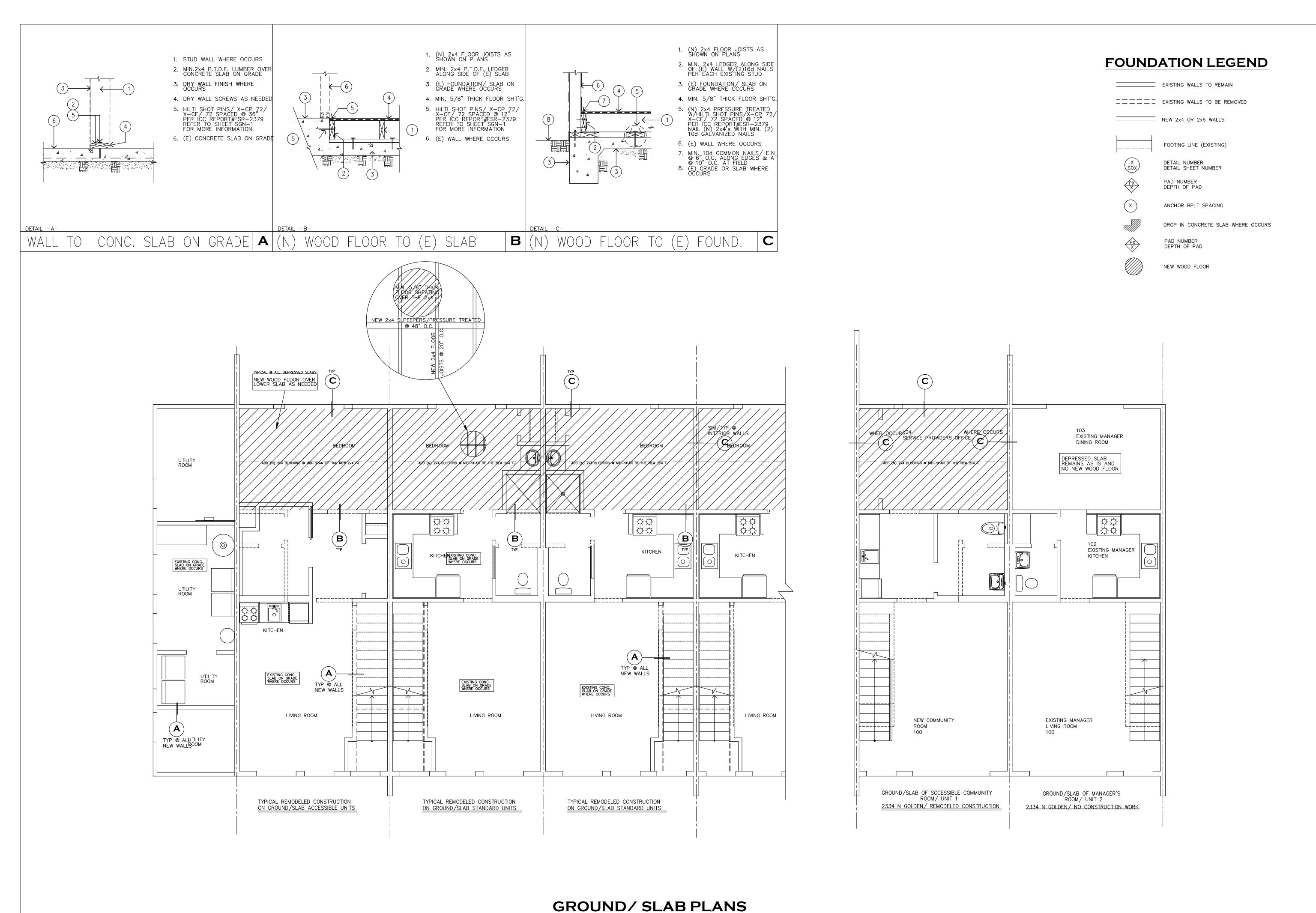
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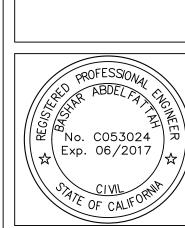
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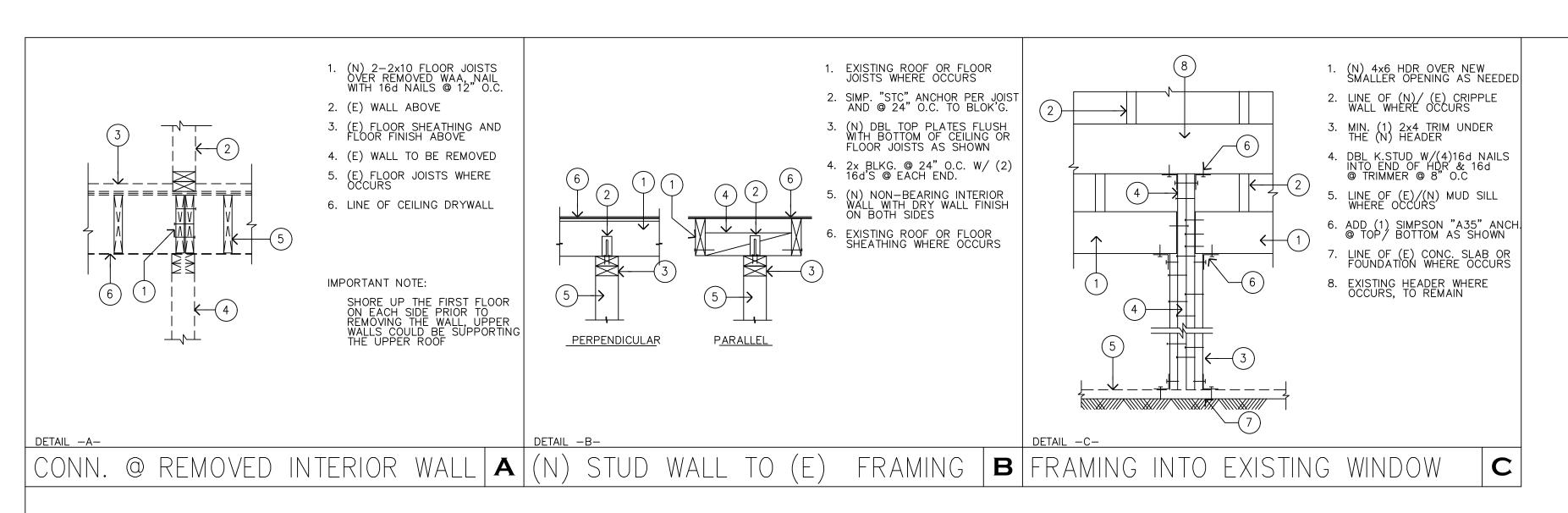
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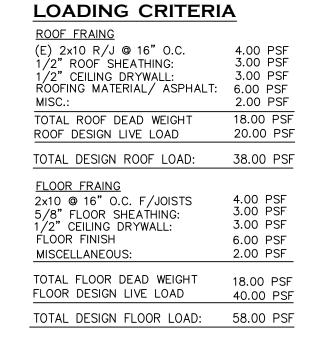


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# FRAMING SCHEDULE EXISTING 2×10 ROOF JOISTS @ 16" O.C. EXISTING 2×10 FLOOR JOISTS @ 16" O.C. EXISTING 2×6 ROOF JOISTS @ 16" O.C. EXISTING 2×6 ROOF JOISTS @ 16" O.C. EXISTING 2×6 ROOF JOISTS @ 16" O.C.

# EXISTING 2x6 ROOF JOISTS @ 16" ( LEGEND EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED NEW 2x4 OR 2x6 WALLS

— · — · — · — LINE OF NEW BEAM/ HEADER

\_\_\_\_ LINE OF EXIST. BEAM/ HEADER

# SYMBOLS

ROOF OR FLOOR JOISTS/ MEMBERS PER SCHEDULE

SHEAR WALL PER SHEAR WALL SCHEDULE

POST/ TRIMMER OR STUD AS SHOWN

X DETAIL NUMBER DETAIL SHEET NUMBER

BEAM NUMBER, PER STRUCTURAL CALCULATIONS

NEW WOOD FLOOR

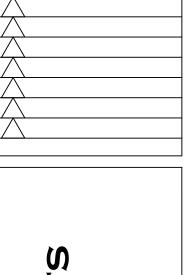
# GENERAL FRAMING NOTES

1— ALL EXISTING FRAMING ELEMENTS INCLUDING SIZE AND SPACING OF ROOF RAFTERS, FLOOR JOISTS, BEAMS AND HDRS ARE SPECIFIED ON PLANS AS (E)/"EXISTING". ALL OTHER STRUCTURAL ELEMENTS NOT SPECIFIED AS "EXISTING" ARE (N)/"NEW".

2— CONTRACTOR TO VERIFY AS SHOWN ON PLANS AND SHALL INFORM THE ENGINEER OF RECORD (EOR) OF ANY DESCREPENCIES;

3— WHERE TOP PLATES OR SOLE PLATES ARE CUT FOR PIPES, A METAL TIE MIN. OF .058" THICK AND 1 1/2" WIDE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN 6—16d NAILS, SEC. 2308.9.8

4— CONTRACTOR SHALL PROPERLY SHORE UP THE ROOF OR FLOOR PRIOR TO REMOVING THE WALLS BELOW



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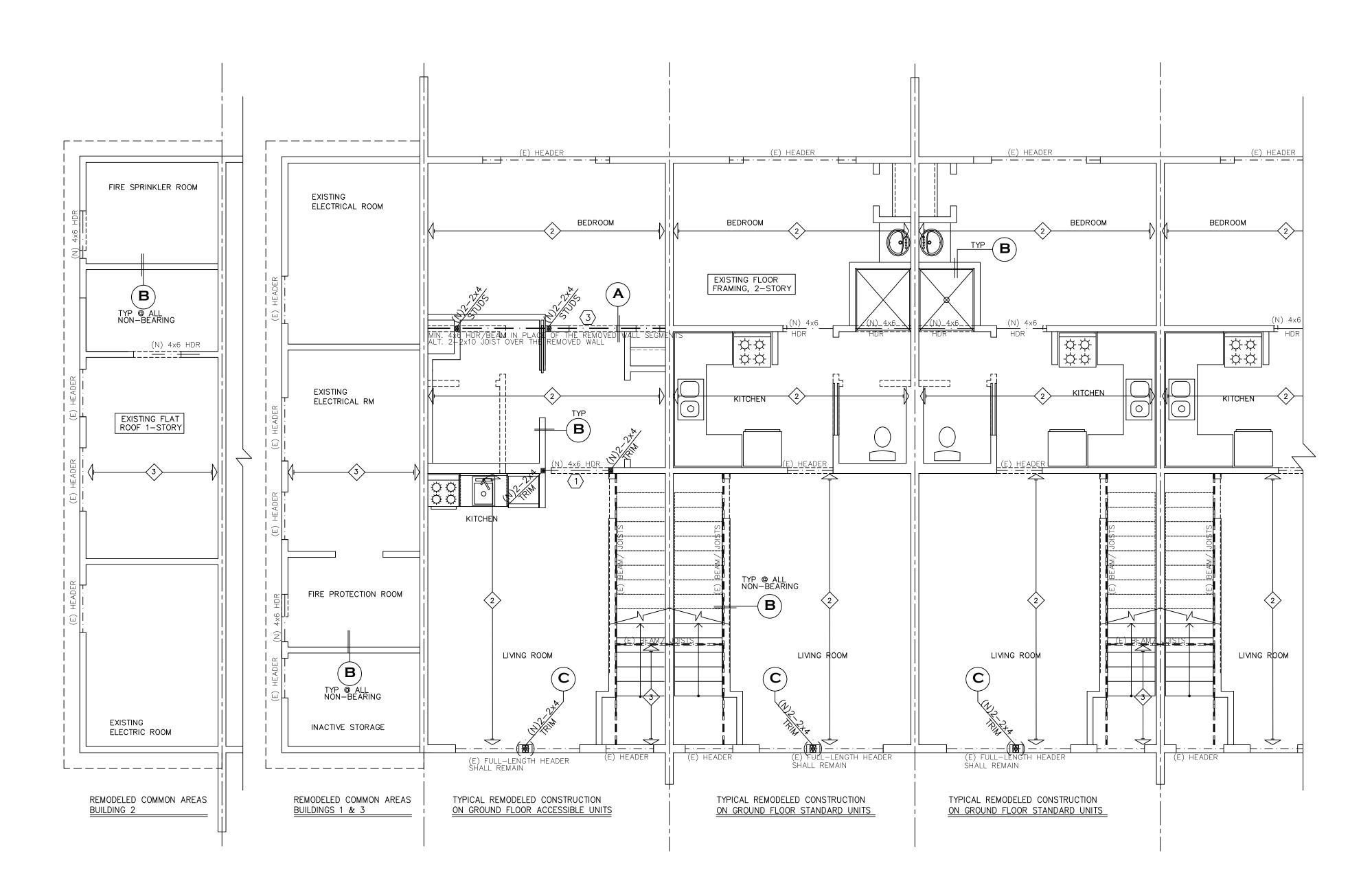
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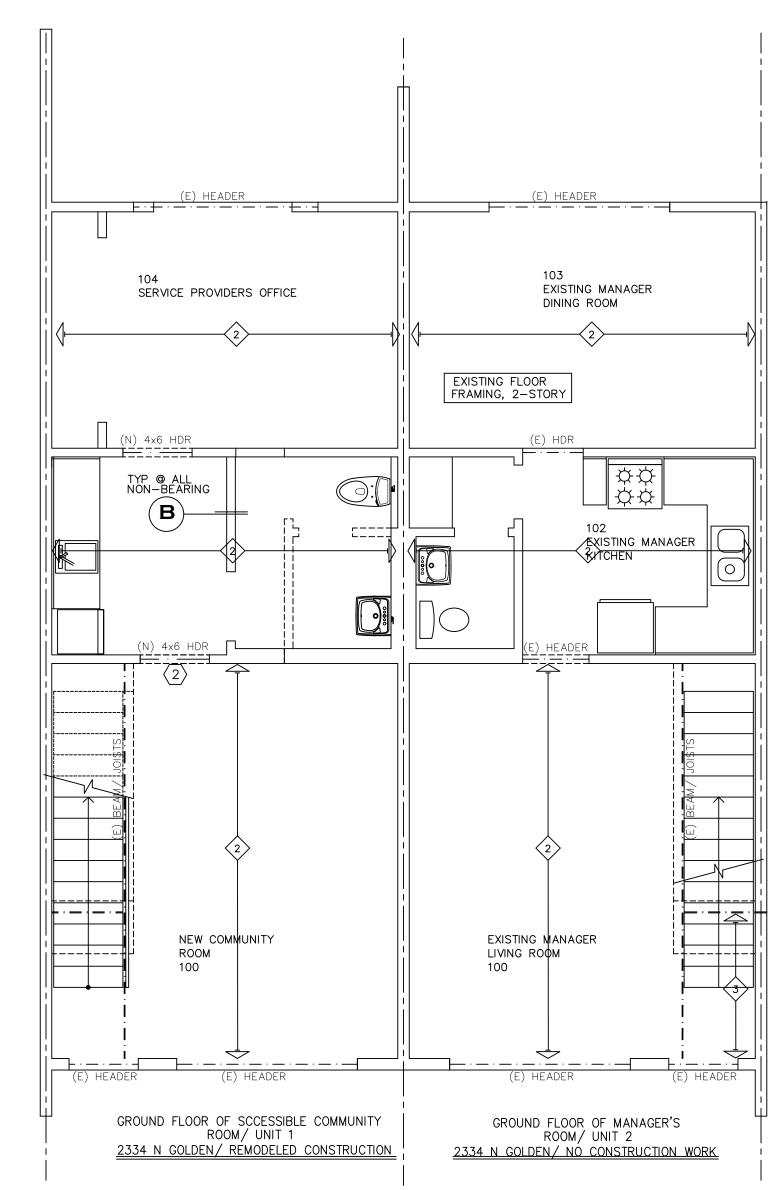
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ENGINEERS

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SECOND FLOOR FRAMING PLANS

SCALE : 1/4" = 1'-0"

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1- ALL EXISTING FRAMING ELEMENTS INCLUDING SIZE AND SPACING OF ROOF RAFTERS, FLOOR JOISTS, BEAMS AND HDRS ARE SPECIFIED ON PLANS AS (E)/"EXISTING". ALL OTHER STRUCTURAL ELEMENTS NOT SPECIFIED AS "EXISTING" ARE (N)/"NEW". 2- CONTRACTOR TO VERIFY AS SHOWN ON PLANS AND SHALL INFORM THE ENGINEER OF RECORD (EOR) OF ANY DESCREPENCIES; 3- WHERE TOP PLATES OR SOLE PLATES ARE CUT FOR PIPES, A METAL TIE MIN. OF .058" THICK AND 1 1/2" WIDE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN 6-16d NAILS, SEC. 2308.9.8 4- CONTRACTOR SHALL PROPERLY SHORE UP THE ROOF OR FLOOR PRIOR TO REMOVING THE WALLS BELOW

# LOADING CRITERIA

ROOF FRAING (E) 2×10 R/J @ 16" O.C. 1/2" ROOF SHEATHING: 1/2" CEILING DRYWALL: ROOFING MATERIAL/ ASPHALT: MISC.:	4.00 PSF 3.00 PSF 3.00 PSF 6.00 PSF 2.00 PSF
TOTAL ROOF DEAD WEIGHT ROOF DESIGN LIVE LOAD	18.00 PSF 20.00 PSF
TOTAL DESIGN ROOF LOAD:	38.00 PSF
FLOOR FRAING  2×10 @ 16" O.C. F/JOISTS  5/8" FLOOR SHEATHING: 1/2" CEILING DRYWALL: FLOOR FINISH	4.00 PSF 3.00 PSF 3.00 PSF 6.00 PSF

TOTAL DESIGN FLOOR LOAD: 58.00 PSF

MISCELLANEOUS:

TOTAL FLOOR DEAD WEIGHT

FLOOR DESIGN LIVE LOAD

6.00 PSF 2.00 PSF

18.00 PSF

# FRAMING SCHEDULE

1	EXISTING 2x10 ROOF JOISTS @ 16" O.C.
2	EXISTING 2x10 FLOOR JOISTS @ 16" 0.0
3	EXISTING 2x6 ROOF JOISTS @ 16" O.C.

# **LEGEND**

	EXISTING WALLS TO REMAIN
=====	EXISTING WALLS TO BE REMOVE
	NEW 2x4 OR 2x6 WALLS
	LINE OF NEW BEAM/ HEADER

\_\_\_.\_. LINE OF EXIST. BEAM/ HEADER

# **SYMBOLS**

ROOF OR FLOOR JOISTS/ MEMBERS PER SCHEDULE

SHEAR WALL PER SHEAR WALL SCHEDULE

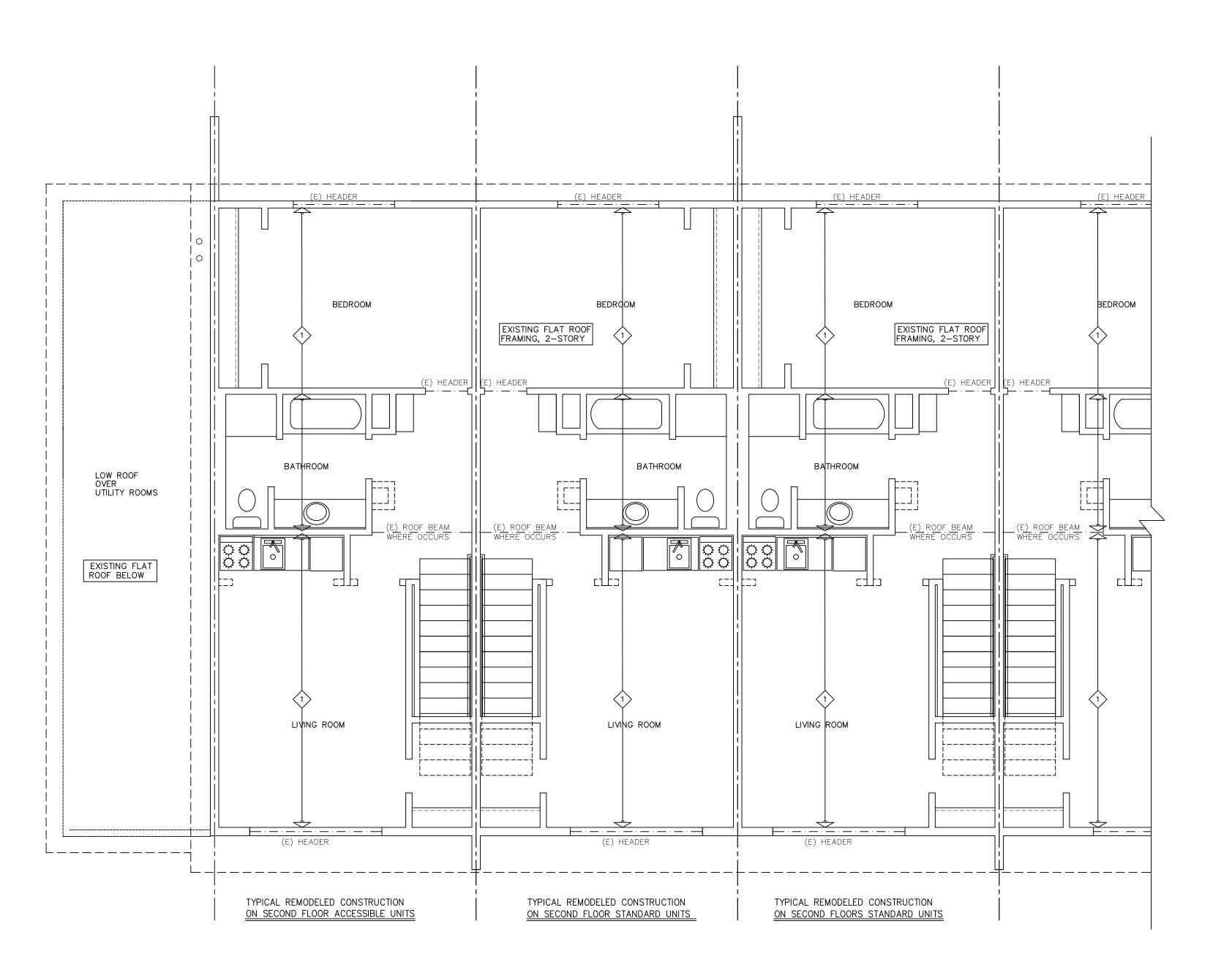
POST/ TRIMMER OR STUD AS SHOWN DETAIL NUMBER DETAIL SHEET NUMBER

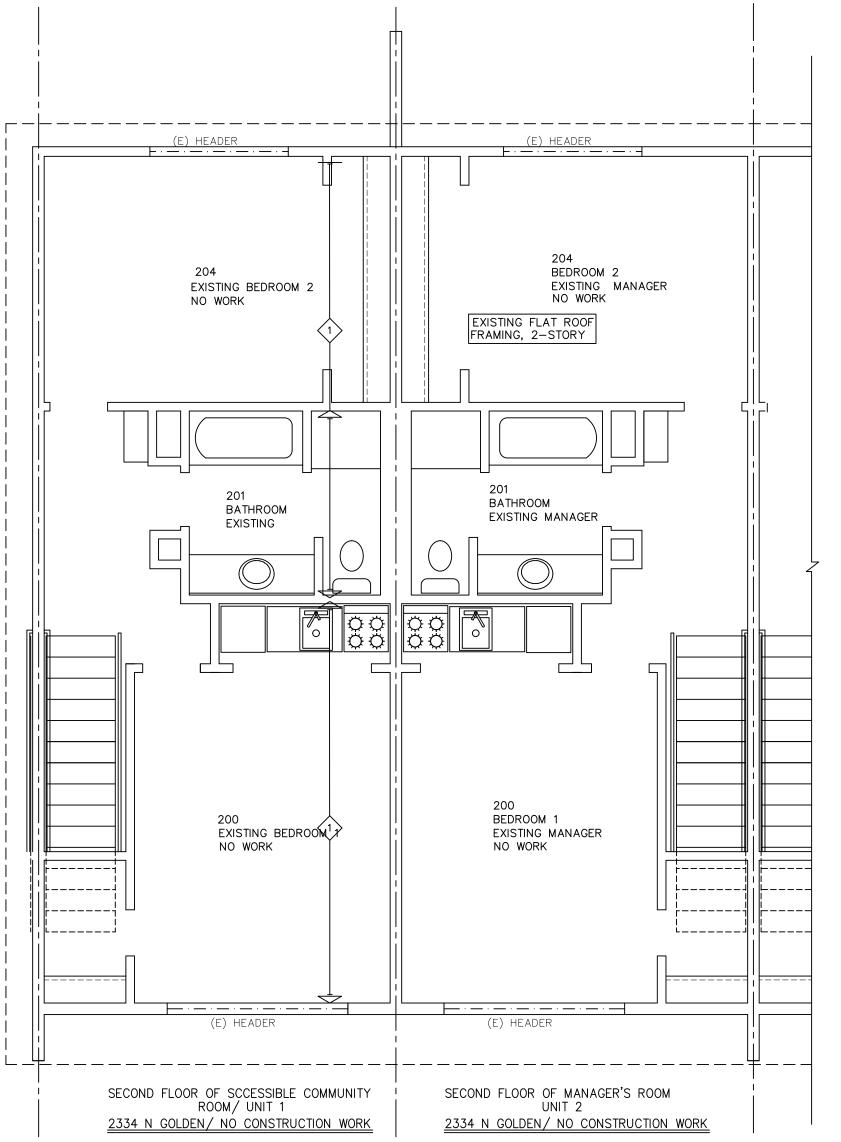
BEAM NUMBER, PER STRUCTURAL CALCULATIONS

KEY NOTE PER SCHEDULE

NEW WOOD FLOOR

REVISIONS:





**UPPER ROOF FRAMING PLANS/ NO CHANGES** 

SCALE : 1/4" = 1'-0"

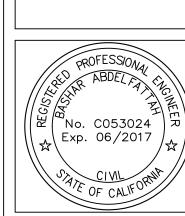
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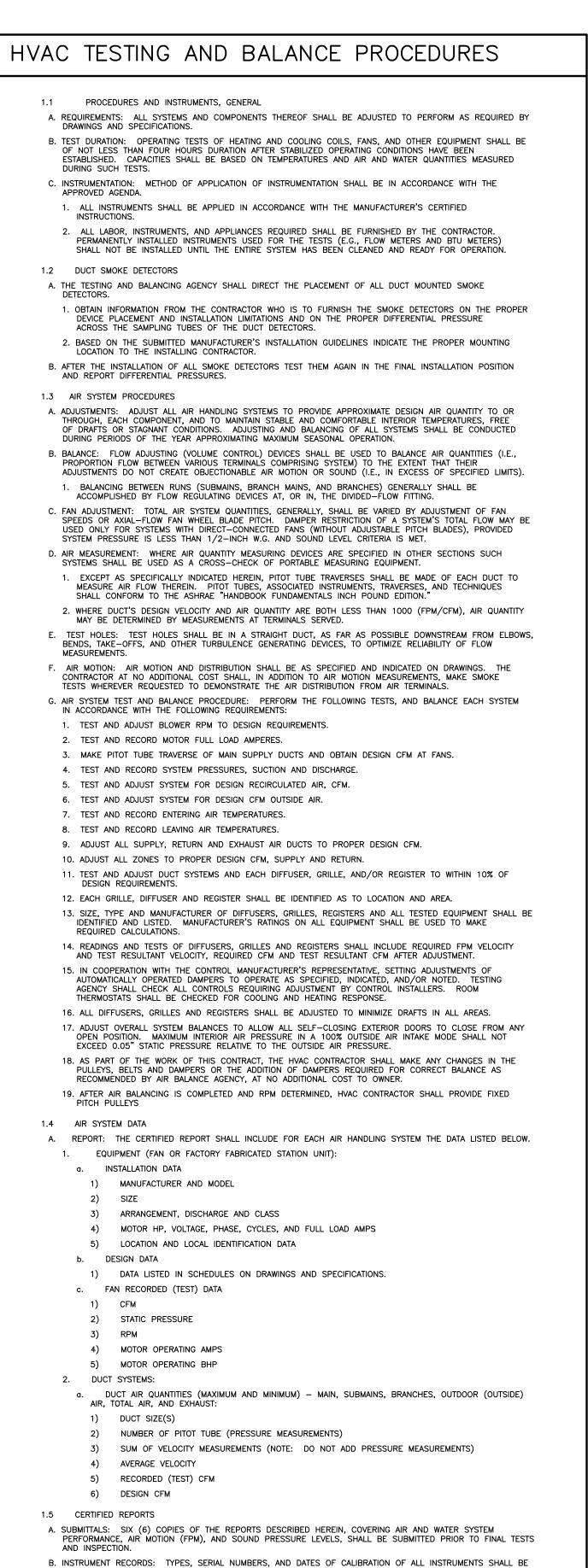
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ENGINEERS

2312 NORTH SAN BERNARDII





C. REPORTS: REPORTS SHALL CONSPICUOUSLY IDENTIFY ITEMS NOT CONFORMING TO CONTRACT REQUIREMENTS,

D. CERTIFICATION: CERTIFICATION SHALL INCLUDE CHECKING OF ADHERENCE TO AGENDA, OF CALCULATIONS, OF

OR OBVIOUS MALFUNCTION AND DESIGN DEFICIENCIES.

PROCEDURES, AND EVALUATION OF FINAL SUMMARIES.

	HVAC LEGEND	
SAMBOL (DOLIDLE LINE)	DESCRIPTION	SAMBOL (SIMOLE LIME)
SYMBOL (DOUBLE LINE)  AD/AP	ACCESS DOOR / ACCESS PANEL	SYMBOL (SINGLE LINE)
Z AD/AP	FLEXIBLE CONNECTION	<b>├</b> ── <b>├</b>
	FLEXIBLE DUCT RUNOUT TO DIFFUSER	<del>√</del> 12x6
12x6	DUCT SIZE (WIDTH x DEPTH)	<del>}                                    </del>
<del></del>	DUCT THROUGH BEAM PENETRATION	<del></del>
RD	DUCT OFFSET (RISE OR DROP)	<del>→ P ← D →</del>
VD	VOLUME DAMPER	<del>√                                    </del>
FD SD FSD	FIRE, SMOKE OR FIRE/SMOKE DAMPER	FD SD FSD
	SUPPLY DUCT UP	⊠──
	SUPPLY DUCT DOWN	⊠——
	EXHAUST DUCT UP	
	EXHAUST DUCT DOWN	<b>——</b>
	RETURN DUCT UP	
	RETURN DUCT DOWN	
	CROSS SECTION OF SUPPLY DUCT	$\boxtimes$
	CROSS SECTION OF EXHAUST AIR DUCT	
	CROSS SECTION OF RETURN AIR DUCT	
	CROSS SECTION OF ROUND DUCT	<b>o</b>
	DUCT ELBOW WITH TURNING VANES	
· 🛱 🛱	SMOOTH RADIUS DUCT ELBOW WITHOUT TURNING VANES	Ţ ,
12x6	ACOUSTICAL LINING DUCT DIMENSION IS ID	12×6 ========3
+ 1	MOTORIZED DAMPER	<del>,                                    </del>
SIZE TD CFM	TRANSFER DUCT (WITH LINER)	<u> </u>
8'-11" BOD	INDICATES 8'11" TO BOTTOM OF DUCT	6'-11" BOD
NECK SIZE—TAG—CFM	ROUND OR SQUARE CEILING SUPPLY DIFFUSER (SEE SCHEDULE) 4-WAY THROW UNLESS INDICATED OTHERWISE.	NECK SIZE-TAG-CFM
NECK SIZE-TAG-CFM	ROUND OR SQUARE CEILING RETURN REGISTER (SEE SCHEDULE)	NECK SIZE—TAG—CFM
■ NECK SIZE—TAG—CFM	ROUND OR SQUARE CEILING RETURN GRILLE (SEE SCHEDULE)	✓ NECK SIZE—TAG—CFM
■ NECK SIZE—TAG—CFM	ROUND OR SQUARE CEILING RETURN GRILLE (SEE SCHEDULE)	■ NECK SIZE—TAG—CFM
NECK SIZE-TAG-CFM	ROUND OR SQUARE CEILING RETURN GRILLE (SEE SCHEDULE)	NECK SIZE-TAG-CFM
NECK SIZE-TAG-CFM	WALL SUPPLY REGISTER (SEE SCHEDULE)	NECK SIZE—TAG—CFM
NECK SIZE-TAG-CFM	WALL RETURN REGISTER (SEE SCHEDULE)	NECK SIZE-TAG-CFM
,		
		↓Ā

GENERAL						
SYMBOL	DESCRIPTION					
(N)	NEW WORK					
(E)	EXISTING WORK TO REMAIN					
<del> </del>	EXISTING WORK TO BE REMOVED					
<u>¢</u>	CENTER LINE					
•	POINT OF CONNECTION					
AD/AP	ACCESS DOOR / ACCESS PANEL					
① (H) (29 CO2)	THERMOSTAT, HUMIDISTAT, CO SENSOR, CO2 SENSOR					
1 M-1	DETAIL 1, DRAWING M-1					
A M-1	SECTION A, DRAWING M-1					
1 M-1	ELEVATION 1, DRAWING M-1					
EXH 1	RISER IDENTIFICATION EXHAUST #1					
HP 1	EQUIPMENT IDENTIFICATION HEAT PUMP UNIT #1					
	KITCHEN EQUIPMENT TAG					
①	SHEET NOTE REFERENCE TAG					

# GENERAL NOTES

- MECHANICAL LEAD SHEET
  MECHANICAL EQUIPMENT SCHEDULES AND DETAILS
- MECHANICAL GROUND PLAN MECHANICAL SECOND FLOOR MECHANICAL ROOF PLAN
- MECHANICAL UNIT PLANS MECHANICAL GROUND & SECOND FLOOR REMODELED PLANS - MANAGER'S UNITS & COMMUNITY ROOM

MECHANICAL SHEET INDEX

M3.1 TITLE 24

# APPLICABLE CODES

- 1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING: 1.1. LIST OF 2016 CALIFORNIA CODE OF REGULATIONS (C.C.R.) 1.2. PROJECT SHALL COMPLY WITH SAN BERNARDINO COUNTY REGULATIONS.
- 2. APPLICABLE CODES 2.1. PART 1- 2016 CALIFORNIA STANDARDS ADMINISTRATIVE CODE, TITLE 24
- 2.2. PART 2- 2016 CALIFORNIA BUILDING CODE (CBC), TITLE 24, C.C.R.,
- VOLUMES 1,2, AND 2B. 2.3. PART 3- 2016 CALIFORNIA ELECTRICAL CODE, TITLE 24, C.C.R.
- PART 4- 2016 CALIFORNIA PLUMBING CODE, TITLE 24, C.C.R. PART 5- 2016 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R. 2.6. PART 6- 2016 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, TITLE
- 24 C.C.R.

  2.7. PART 8— 2016 CALIFORNIA FIRE CODE, TITLE 24, C.C.R.

  2.8. PART 10— 2016 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24
- 2.9. PART 11- 2016 CALIFORNIA GREEN BUILDING CODE, TITLE 24, C.C.R.

- 1. VERIFY ALL CONNECTIONS TO EXISTING WORK.
- 2. CONTRACTORS SHALL VISIT SITE AND BE FULLY COGNIZANT OF ALL CONDITIONS PRIOR TO
- INSTALL ALL DUCTWORK TO BEST SUIT FIELD CONDITIONS AND COORDINATE WITH THE INSTALLATION WORK OF OTHER TRADES. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT
- BE SCALED TO DETERMINE EXACT LOCATION OF DUCTWORK. DURING ENTIRE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL MAINTAIN ADEQUATE FIRE EXTINGUISHERS READY FOR USE IN CASE OF FIRE.
- 5. PROTECTION OF PUBLIC: THE CONTRACTOR SHALL PROTECT THE PUBLIC FROM INJURY DURING PROGRESS OF THE WORK BY POSTING WARNING SIGNS, GUARD LIGHTS AND BARRICADES.
- 6. THE CONTRACTOR SHALL REFER TO THE ELECTRICAL CONTRACT DOCUMENTS TO OBTAIN THE INFORMATION ON STARTERS, VOLTAGE, PHASE, INTERLOCKING CONTROLS, AND MISCELLANEOUS EQUIPMENT SUCH AS RELAYS IN STARTERS, ETC. SO THAT ALL ELECTRICAL APPARATUS SERVING THE MECHANICAL EQUIPMENT SHALL FULLY COMPLY WITH ELECTRICAL AND CONTROL
- 7. COORDINATE ALL WORK WITH ARCHITECTURAL, ELECTRICAL AND STRUCTURAL DRAWINGS. INSTALL ALL WORK TO CLEAR NEW AND EXISTING ARCHITECTURAL AND STRUCTURAL MEMBERS. NO ITEMS SUCH AS PIPE, DUCT, ETC. TO BE IN CONTACT WITH ANY
- 8. OBTAIN WRITTEN PERMISSION OF ARCHITECT BEFORE PROCEEDING WITH ANY CUTTING OR PATCHING OF STRUCTURAL SYSTEMS. INSTALL ALL DUCTWORK AND PIPING AS HIGH AS
- 9. FURNISH AND INSTALL MATERIALS, EQUIPMENT AND LABOR AS SHOWN AND AS NECESSARY FOR COMPLETE WORKABLE SYSTEMS.
- 10. RESTORE ALL DAMAGE RESULTING FROM YOUR WORK AND LEAVE PREMISES IN CLEAN
- 11. CONNECT ALL EQUIPMENT FURNISHED UNDER OTHER TRADES WHERE SHOWN ON THE DRAWINGS.
- 12. PROVIDE TWO SETS OF "AS-BUILT" DRAWINGS AND TWO BOUND SETS OF ALL OPERATIONS MANUALS, DIAGRAMS, SERVICE CONTRACTS, GUARANTEES, ETC. TO THE BUILDING ENGINEER.
- 13. ALL EQUIPMENT THAT IS REMOVED AND NOT REUSED SHALL BE RETURNED TO THE BUILDING OWNER.
- 14. THERMOSTAT HEIGHT SHALL BE 48" ABOVE FINISHED FLOOR.
- 15. NO PENETRATIONS ALLOWED IN DUCTS.

CONDITION WHEN FINISHED WITH WORK.

16. INSTALL ALL AIR DISTRIBUTION DEVICES, SUPPLY DIFFUSERS, RETURN GRILLES, ETC., IN ACCORDANCE WITH LOCATIONS GIVEN ON CONTRACT DOCUMENTS.

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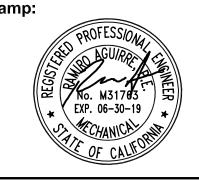
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DRAWING REVISION LOG					
DERC	04/24/17				
PLANNING SUBMITTAL	05/12/17				
FOR BID	05/25/2018				

PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

MECHANICAL LEAD SHEET

	PTAC UNITS (HEAT PUMPS) - RESIDENTIAL UNITS													
		4954		OSA	COOL		HEATII		ELECT	RICAL		DIMENSIONS	OPER.	
UNIT	MANUFACTURER   & MODEL NO.	AREA SERVED	C.F.M.	C.F.M.	CAPACITY	, ,	CAPACITY	(BTUH)	VOLTAGE	ELECTRIC	MCA	W X H X D (INCH)	WT.	REMARKS
140.	a MODEL NO.	SENVED		0.1 .111.	TOTAL	EER	TOTAL	COP	V. / PH. / HZ	HEAT	MOA	W X H X D (INCH)	(LBS.)	
PTAC 1	LG LP123HDUC	TYP UNIT - SEE SHEET M2.1	420	70	12,000	11.9	12,000	3.5	230/1/60	2.4KW	13.6	42 X 16 X 21	120	PROVIDE WITH 18 GAUGE INSULATED WALL SLEEVE, CONDENSATE REMOVAL KIT, EELECTRIC SUB-BASE KIT, ARCHITECTURAL GRILLE, AND WALL MOUNTED THERMOSTAT

	RESIDENTIAL TRANSFER AIR FAN SCHEDULE									
TAG	MFR & MODEL	LOCATION	BLOWER	MOTOR		DIN	MENSIONS	NOTES		
	MODEL	LOCATION	BLOWLK	INIOT	OK .	DIFFUSER	BLOWER GRILLE	NOILS		
TAF 1	AIRESHARE AS1	SEE PLANS	75 CFM	115 VOLTS	60 HZ	3" X 15 1/8"	7 3/4" X 15 3/4"	1,2		
						FAN	HOUSING	4.45		
TAF 2	AIR KING	SEE PLANS	80 CFM	115 VOLTS	60 HZ	14 7/8"H X	11 1/2"D X 10 1/8"W	1,4,5		

2. WALL STUDS MUST BE SPACED A MINIMUM OF 16" O.C. SEE DETAIL 3 IN THIS SHEET.
3. WALL CAVITY BETWEEN BLOWER IN TAKE AND DIFFUSER NEED TO BE LINED WITH DUCT—BORED, SEE DETAIL 4 ON THIS SHEET

			EXHA	UST	FA	N SC	CHEC	ULE				
TAG	MFR & MODEL	LOCATION	AREA SERVED	DRIVE	AIR FLOW (CFM)	SP (IN.WG.)	SONES		RICAL V/PH	UNIT SIZE (L"xW"xH")	OPER. WT. (LBS)	NOTES
EF 1	DELTA GBR80HL	CEILING	RESTROOM	DIRECT	63	0.25	1.3	0.63	120/1	11"X11"X6	25	1–5
EF R1	DELTA GBR80HL	CEILING	RESTROOM	DIRECT	63	0.25	1.3	0.63	120/1	11"X11"X6"	25	1–6

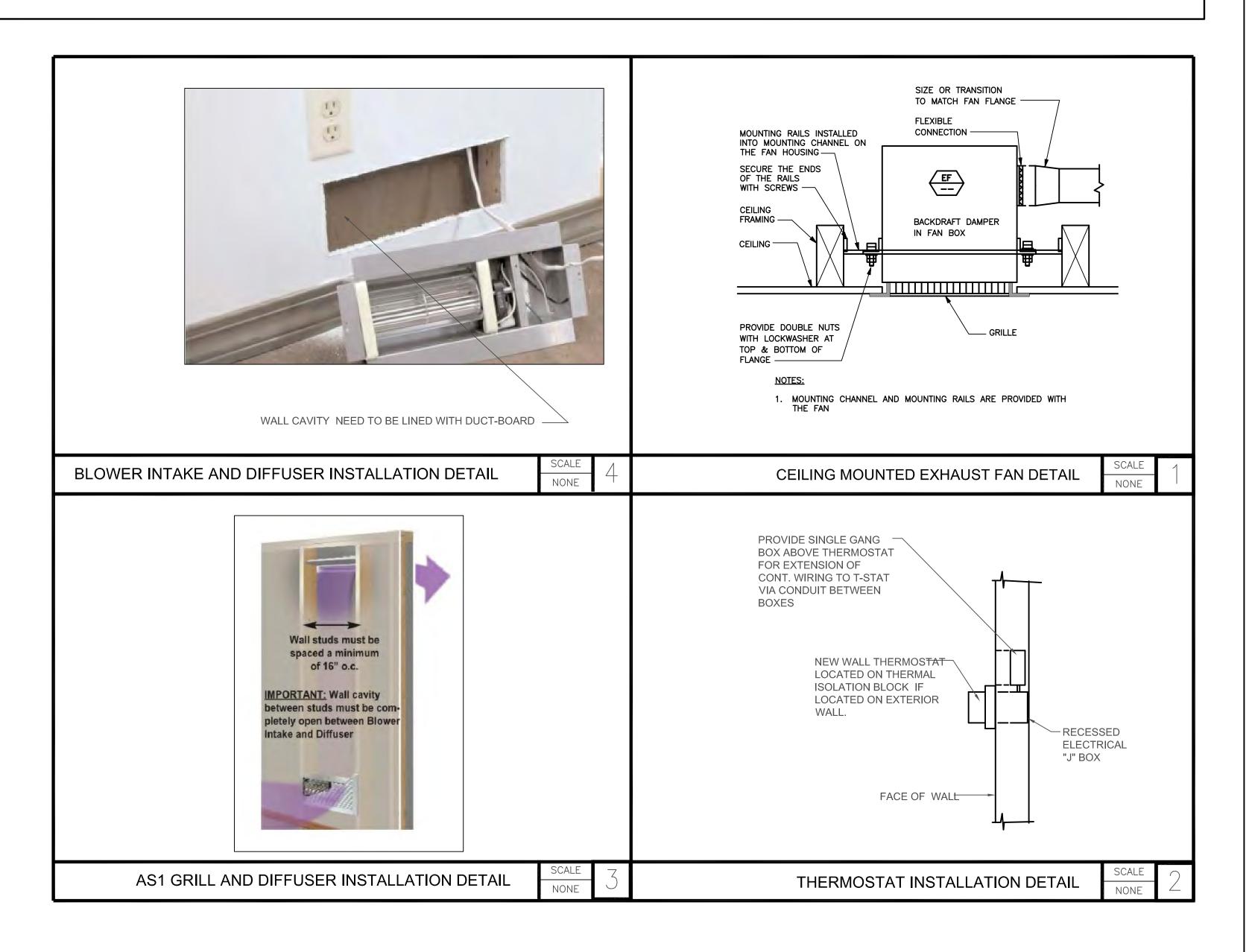
- 1. STARTER AND FUSED DISCONNECT PROVIDED BY ELECTRICAL CONTRACTOR.
- 2. PROVIDE NON-OVERLOADING MOTOR. 3. PROVIDE NEMA PREMIUM EFFICIENCY MOTOR.
- 4. SEE 1 / MO.1 FOR INSTALLATION DETAIL.
- 5. PROVIDE BACKDRAFT DAMPER.
- 6. PROVIDE WITH BUILT-IN HUMIDITY SENSOR

			PACKAG	ED F	ROOFT	OP GA	S ELECT	RIC A	C UN	IT S	CHED	ULE	- MA	NAGER'S	UNITS &	COM	MUN	ITY F	ROOM	<b>/</b> 1		
TAG	MFR & MODEL	LOCATION	AREA SERVED	CAP. (TONS)	AIRFLOW	DRIVE	EXT. STATIC PRESSURE	REFRIG.	SEER	EER	AFUE	CO TOTAL (MBH)	OLING SENS (MBH)	HEATING OUTPUT (MBH)	MAXIMUM INPUT (MBH)	MOTOR RATING	EL V/PH	ETRICAL MCA	моср	UNIT SIZE (L"xW"xH")	OPER. WT.	NOTES
RTU	YORK PCG4A240502X1	ROOF	MANAGER'S UNITS & COMMUNITY ROOM	2	800	DIRECT	0.46	R410A	14.0	11.0	81%	24.2	16.4	40.0	50.0	0.33 HP	230/1	14.4	20	51"x36"x47"	367	1-3

1. TRANSFER AIR FAN SHALL BE ENERGY STAR

4. STATIC PRESSURE IS 0.38 (INCHES OF W.G)
5. OUTLET FAN SONES • 0.2" STATIC PRESSURE IS 0.9

PROVIDE ECONOMIZER
 DEMAND CONTROL VENTILATION AND SENSOR AT SPACE
 PREFAB CURB



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	FOR BID	05/25/2018
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PROJECT NAME:

GOLDEN **APARTMENTS** 

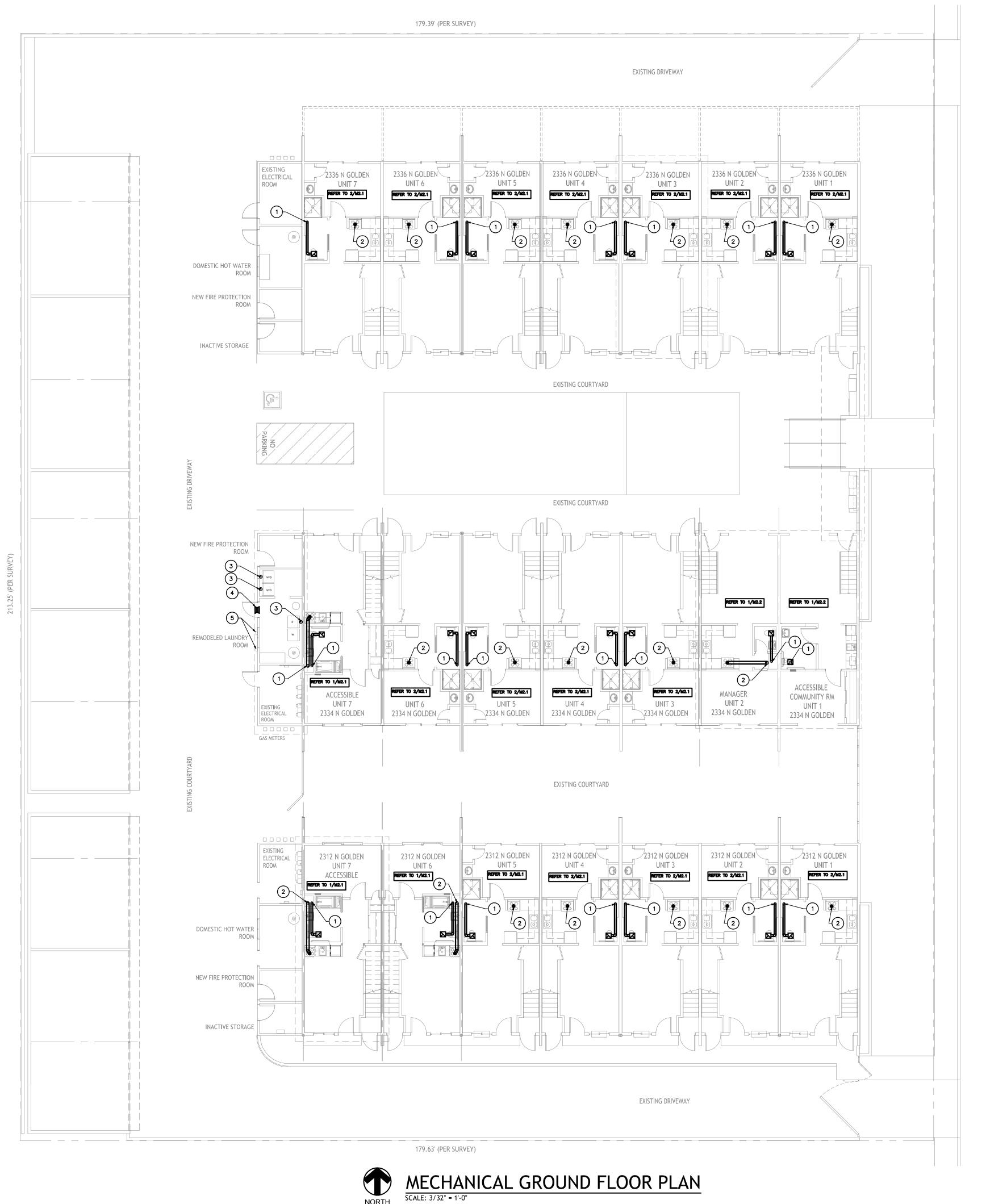
**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

MECHANICAL SCHEDULE & **DETAILS** 



# PLAN KEY NOTES:

- 1) 5" EXHAUST AIR DUCT UP THRU THE ROOF. TERMINATE WITH ROOF CAP.
- 2 6° KITCHEN HOOD EXHAUST DUCT UP THRU THE ROOF. REFER TO M1.2 FOR CONTINUATION. RANGE HOOD EXHAUST SHALL BE A MINIMUM OF 100 CFM, INSTALL PER RANGE HOOD MANUFACTURERS RECOMMENDATIONS.
- 4" SMOOTH METAL DRYER VENT UP THRU THE ROOF TO CODE APPROVED ROOF JACK AND PROVIDED WITH BACK DRAFT DAMPER. DRYER VENT SHALL BE METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. REFER TO M1.2 FOR CONTINUATION.
- (4) 24"X10" COMBUSTION AIR OPENING WITH METAL LOUVERS.

## **COMBUSTION AIR CALCULATIONS:**

(3 DRYERS TOTAL)
50,000 BTUH PER DRYER
50,000 BTUH \* 3 DRYERS = 150,000 BTUH
1 SQ"/1000 BTUH
(3) © 50,000 BTUH= 150 SQ" FREE AREA
ASSUMING GRILLE AT 65% FREE AREA
GRILLE SIZE SHALL BE 24"X10" OR EQUAL AREA

COMBUSTION AIR OPENING SHALL BE LOCATED WITHIN 12" OF THE LAUNDRY ROOM CEILING

## **GENERAL NOTES:**

MECHANICAL CONTRACTOR SHALL COORDINATE RESPONSIBILITY OF SAW CUTTING PATCHING AND REPAIRING OF FLOORS, CEILINGS AND WALLS RELATED TO HIS/HER SCOPE OF WORK WITH THE GENERAL CONTRACTOR /OWNER/ARCHITECT AS RELATES TO HIS/HER MECHANICAL SCOPE CONTRACTUAL WORK.

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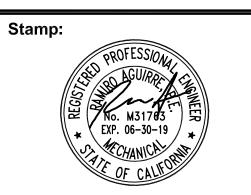
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PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT **UNIT APARTMENTS** 

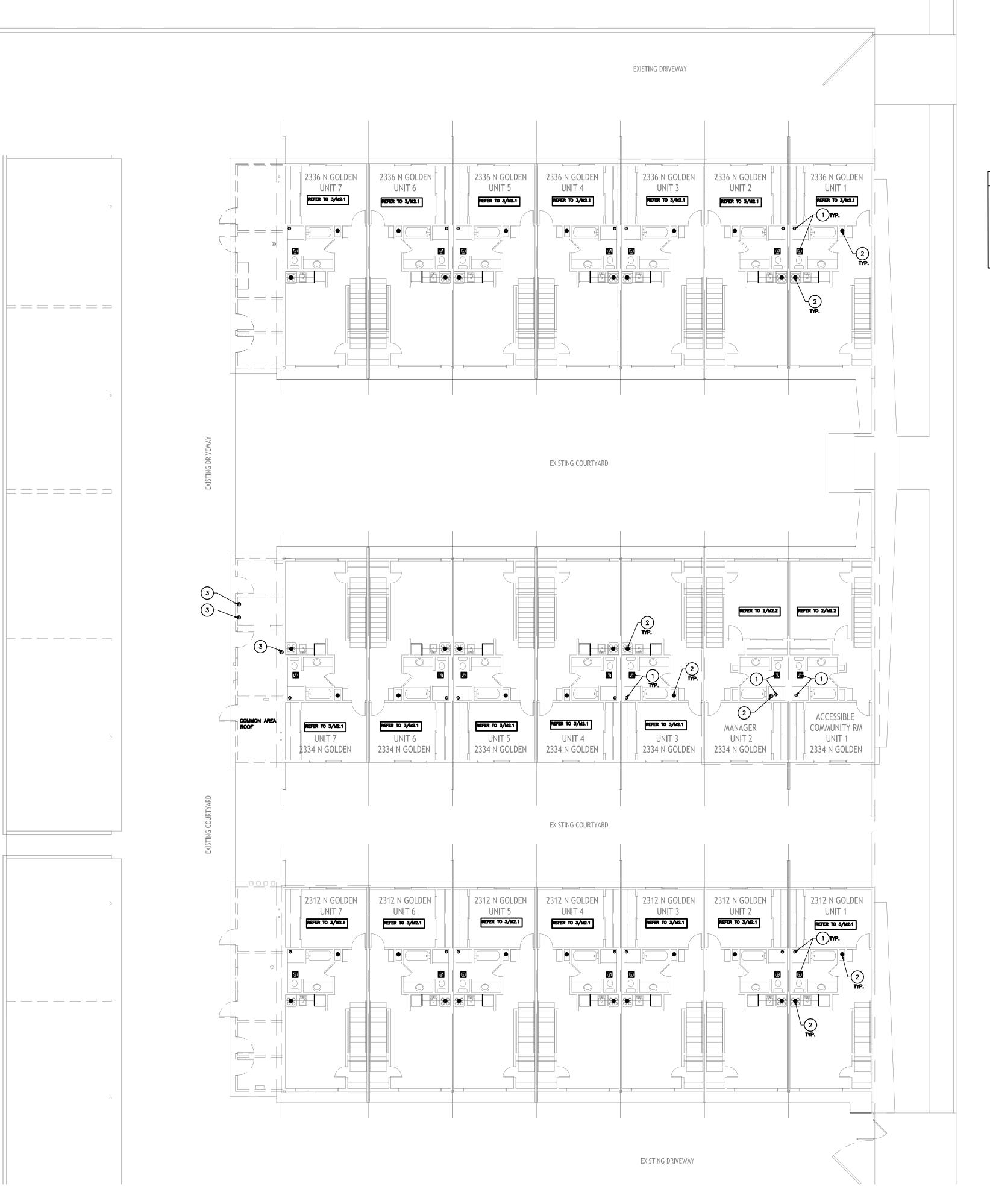
PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

MECHANICAL GROUND **FLOOR PLAN** 

M1.1



PLAN KEY NOTES:

- 5" EXHAUST AIR DUCT UP THRU THE ROOF. TERMINATE WITH ROOF CAP. REFER TO M1.2 FOR CONTINUATION.
- 6" KITCHEN HOOD EXHAUST DUCT UP THRU THE ROOF. REFER TO M1.2 FOR CONTINUATION. RANGE HOOD EXHAUST SHALL BE A MINIMUM OF 100 CFM, INSTALL PER RANGE HOOD MANUFACTURERS RECOMMENDATIONS.
- 4" SMOOTH METAL DRYER VENT UP THRU THE ROOF TO CODE APPROVED ROOF JACK AND PROVIDED WITH BACK DRAFT DAMPER. DRYER VENT SHALL BE METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. REFER TO M1.2 FOR CONTINUATION.

SMOOTH INTERIOR SURFACES. REFER TO M1.2 FOR CONTINUATION.



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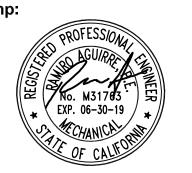
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PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

MECHANICAL SECOND FLOOR PLAN





## PLAN KEY NOTES:

- 1 REPLACE (E) RTU WITH NEW 2 TON PACKAGED ROOFTOP GAS ELECTRIC UNIT PER SCHEDULE ON SHEET MO.1.
- 2 RECONNECT ALL EXISTING UTILITIES, POWER, & CONDENSATE AT THIS NEW UNIT.
- CONDENSATE AT THIS NEW UNIT.

  (3) RECONNECT TO EXISTING SA AND RA DROP DUCTS.
- 5" EXHAUST AIR DUCT UP THRU THE ROOF. TERMINATE WITH ROOF CAP.
- 6" KITCHEN HOOD EXHAUST DUCT UP THRU THE ROOF. RANGE HOOD EXHAUST SHALL BE A MINIMUM OF 100 CFM, INSTALL PER RANGE HOOD MANUFACTURERS RECOMMENDATIONS.
- 6 4" SMOOTH METAL DRYER VENT UP THRU THE ROOF TO CODE APPROVED ROOF JACK AND PROVIDED WITH BACK DRAFT DAMPER. DRYER VENT SHALL BE METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES.

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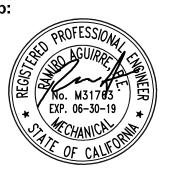
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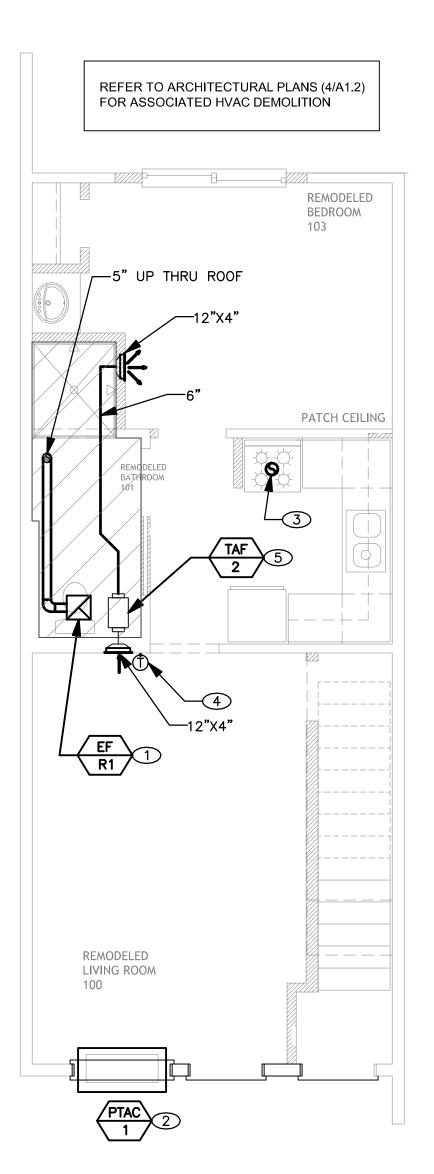
SHEET TITLE:

MECHANICAL ROOF PLAN

M1.3

# REFER TO ARCHITECTURAL PLANS (3/A1.2) FOR ASSOCIATED HVAC DEMOLITION BEDROOM \_\_\_5" UP THRU ROOF REMODELED LIVING ROOM 201

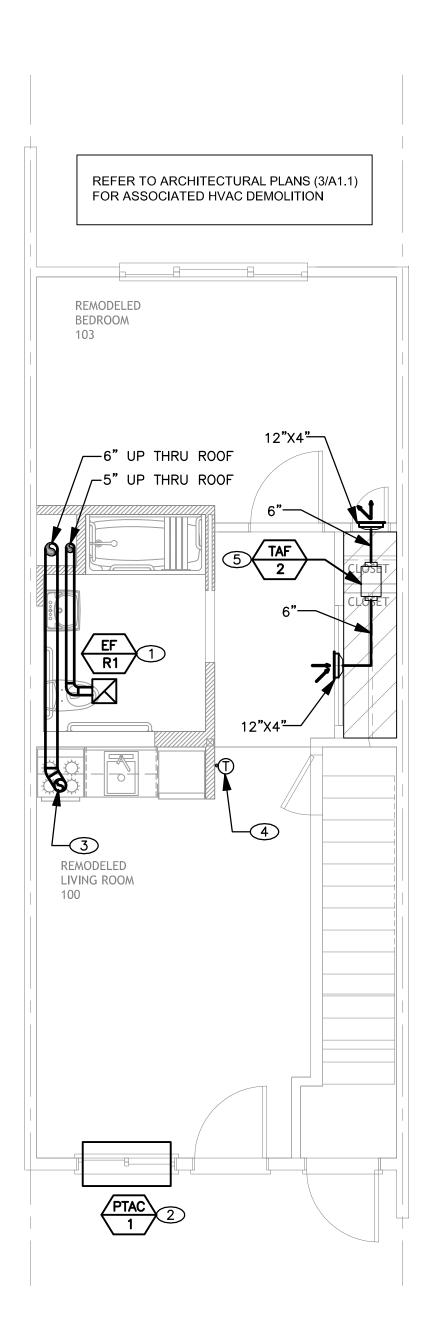
TYPICAL REMODELED SECOND



TYPICAL REMODELED GROUND FLOOR UNITS

# PLAN KEY NOTES

- ① SEE EXHAUST FAN SCHEDULE ON SHEET MO.1 & DETAIL 1/MO.1.
- ② SEE PTAC UNITS SCHEDULE ON SHEET MO.1.
- 3 CONNECT 6"Ø TO KITCHEN HOOD EXHAUST DUCT OUTLET AND EXTEND DUCT THRU THE ROOF TO CODE APPROVED ROOF CAP. RANGE HOOD EXHAUST SHALL BE A MINIMUM OF 100 CFM, INSTALL PER RANGE HOOD MANUFACTURERS RECOMMENDATIONS.
- FOR T-STAT MOUNTING, SEE DETAIL 2/MO.1.
- ⑤ SEE TRANSFER AIR FAN SCHEDULE ON SHEET MO.1 AND DETAIL 3/MO.1 & 4/MO.1.



TYPICAL REMODELED GROUND FLOOR ACCESSIBLE UNITS

Scale: 1/4" = 1'-0"

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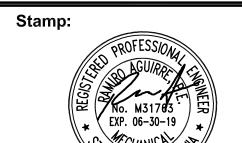
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PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

MECHANICAL UNIT PLANS

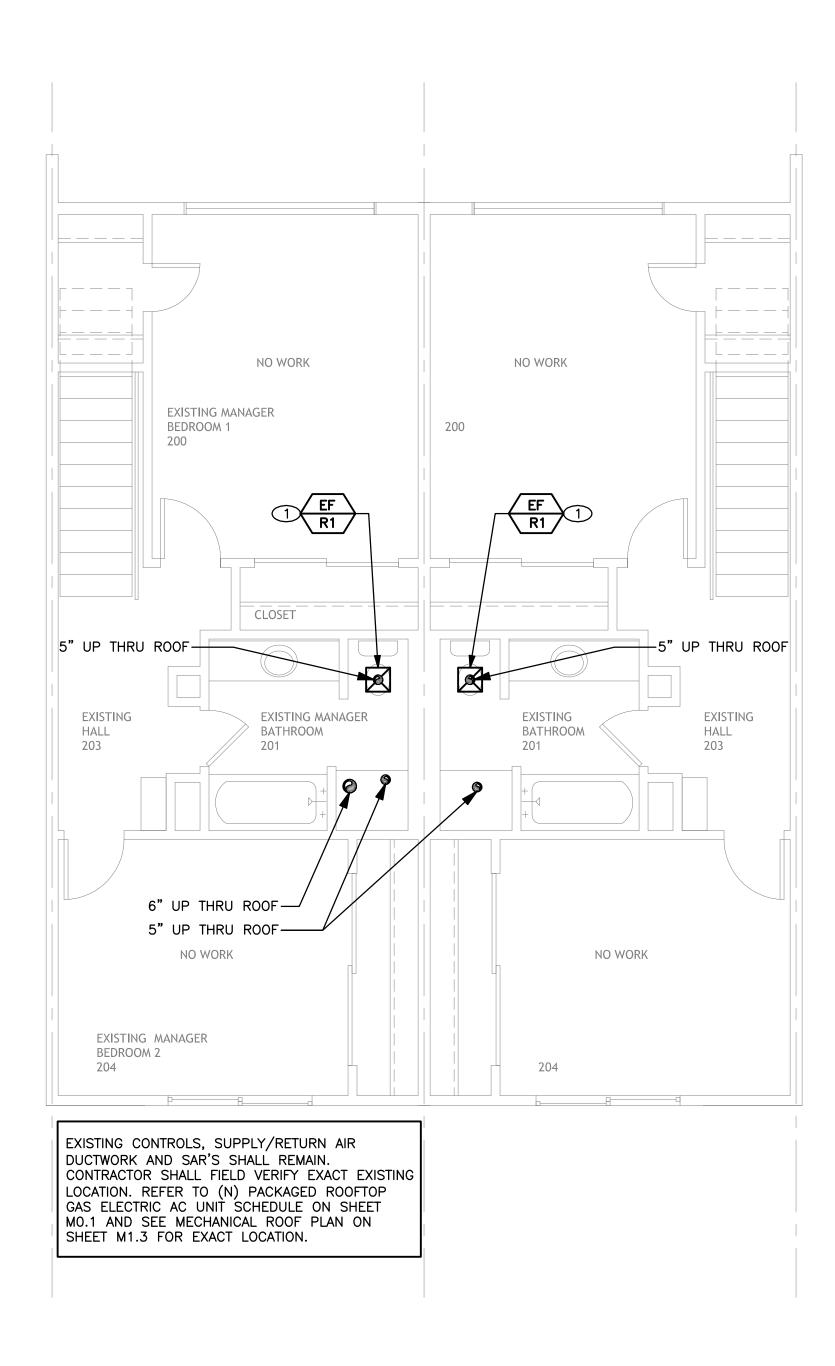
M2.1

FLOOR UNITS

Scale: 1/4" = 1'-0"

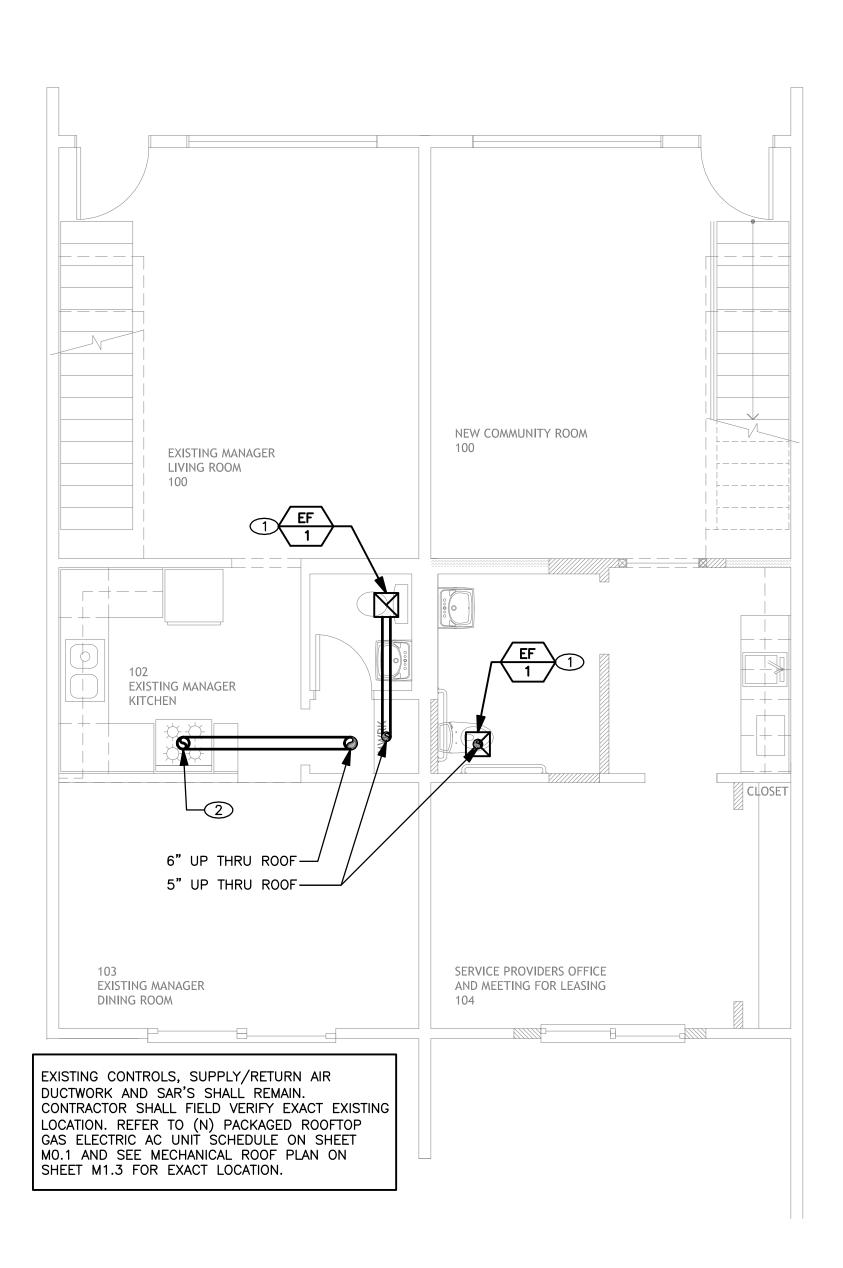
# PLAN KEY NOTES

- ① SEE EXHAUST FAN SCHEDULE ON SHEET MO.1 & DETAIL 1/MO.1.
- CONNECT 6"Ø TO KITCHEN HOOD EXHAUST DUCT OUTLET AND EXTEND DUCT THRU THE ROOF TO CODE APPROVED ROOF CAP. RANGE HOOD EXHAUST SHALL BE A MINIMUM OF 100 CFM, INSTALL PER RANGE HOOD MANUFACTURERS RECOMMENDATIONS.



REMODELED SECOND FLOOR AT UNITS 1+2 
BUILDING 2 (2324 NORTH GOLDEN)

Scale: 1/4" = 1'-0"



REMODELED GROUND FLOOR AT UNITS 1+2 
BUILDING 2 (2324 NORTH GOLDEN)

Scale: 1/4" = 1'-0"

# BASIS Architecture & Consulting

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CHARLES PICK, ARCHITECT

Consultants:





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EXP. 06-30-19

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CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

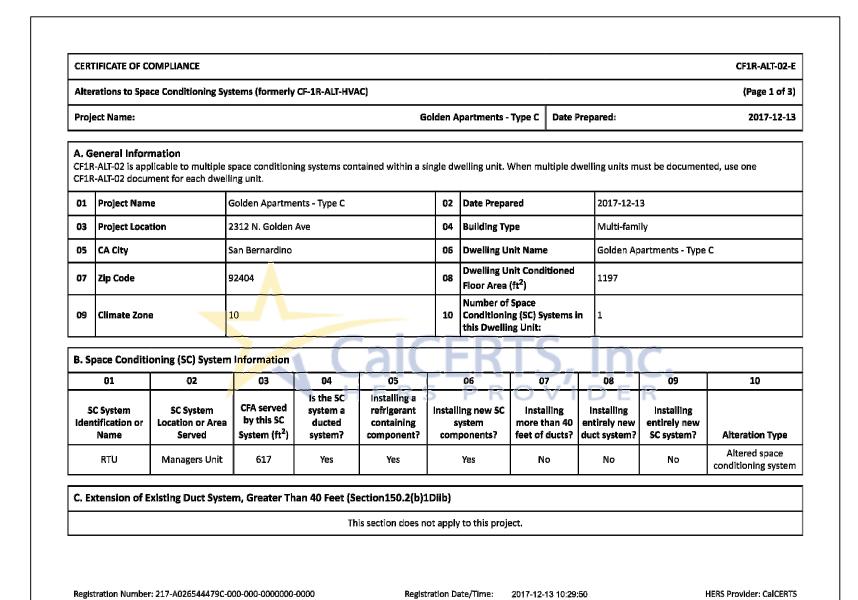
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

MECHANICAL GROUND &
SECOND FLOOR REMODELED
PLANS - MANAGER'S UNITS &
COMMUNITY ROOM

M2.2



Alterations to	Space Condi	tioning Systems	(formerly CF-	1R-ALT-HVAC)							(Page 2 o
D. Altered Sp	ace Conditi	oning System (	(Sections 150	).2(b)1E and F	<del>-</del> )				1		
01	02	03	04	05	06	07	08	09	10	11	12
System Identification or Name	Heating System Type	Altered Heating Components	Heating Efficiency Type	Heating Minimum Efficiency Value	Cooling System Type	Altered Cooling Components	Cooling Efficiency Type	Cooling Minimum Efficiency Value	Required Thermostat Type	New or Replaced Duct Length	New Di R-Valu
		All new				All new				This field or	This field
CF2R-MCH-01-E - S - Duct insulation re	pace Conditionir quirement for th	heating components ng Systems ne new portions of s				cooling components		14	Setback	section is not applicable	section is
Required Documerr CF2R-MCH-01-E - S - Duct Insulation re CF2R and CF3R-MC - Leakage rate comp CF2R and CF3R-MC CF2R and CF3R-MC Exceptions: - Duct systems regi - Heating-only syst	furnace  tation: pace Conditionir pace Conditionir H-20-H - Duct Le biliance: <= 15% o H-25-H Refrigera H-23 Airfilow Rai stered with HER!	heating components	upply-air and retu when heating or outside, or seal a on required when on required when usly sealed are exe as do not require w	rn-air ducts or plei cooling componen ill accessible leaks, refrigerant contail MCH-25 is require empt from MCH-26 cerification of Air Fi	nums: R6 (CZ 1-10, ts are installed in d ning components at d. D Duct Leakage Test ow MCH-23, or Ref	cooling components  12 and 13) and RB ucted systems, or vere installed or alterning requirements.	(CZ 11 and 14-16) when more than 40 ed (applicable in C CH-25.	Oft of duct length		section is not	section is applicat
Required Document CF2R-MCH-01-E - S - Duct Insulation re - CF2R and CF3R-MC - Leakage rate comp CF2R and CF3R-MC Exceptions: - Duct systems regi - Heating-only systems - Existing duct systems	furnace tation: pace Conditionin quirement for th H-20-H - Duct Le Jishece: <= 15% c H-25-H Refrigers H-23 Airflow Rai stered with HER; ems and Air Han- ms constructed,	heating components  In Systems In new portions of statement of the stateme	upply-air and retu I when heating or o outside, or seal a on required when on required when usly sealed are exes so do not require with asbestos are	rn-air ducts or plei cooling componen ill accessible leaks. refrigerant contain MCH-25 is require empt from MCH-26 rerification of Air Fi exempt from MCH- tern, with or s	nums: R6 (CZ 1-10, ts are installed in d ning components and.)  Duct Leakage Test low MCH-23, or Refi-20 Duct Leakage 1	cooling components  12 and 13) and R8 ucted systems, or vere installed or alterning requirements. Frigerant Charge Molesting requirement change	(CZ 11 and 14-16) when more than 40 ed (applicable in C CH-25. Is. out (Sections	D ft of duct length   Z 2, 8-15}.	is replaced	section is not applicable	section is

Report Version: 2016.1.006

Report Generated: 2017-12-13 10:27:57

CA Building Energy Efficiency Standards - 2016 Residential Compliance

Registration Number: 217-A026544479C-000-0000-00000 Registration Date/Time: 2017-12-13 10:29:50 HERS Provider: CalCERTS

CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version: 2016.1.006 Report Generated: 2017-12-13 10:27:57 Schema Version: rev 10/16

Alterations to Space Conditioning Systems (formerly CF-1R-ALT-HVAC)	(Page 3 of
Documentation Author's Declaration Statement	
1. I certify that this Certificate of Compliance documentation is accurate a	and complete.
Documentation Author Name: Aguirre, Ramiro	Documentation Author Signature: Ramiro Aguirre
Company: AME Design Group	Signature Date: 2017-12-13 10:29:50
Address: 2062 Business Center Drive #250	CEA/ HERS Certification Identification (if applicable):
City/State/2lp: Irvine CA 92612	Phone: 949-553-0011
Responsible Person's Declaration statement	
I certify the following under penalty of perjury, under the laws of the State of California:  1. The information provided on this Certificate of Compliance is true and correct.  2. Lam eligible under Division 3 of the Business and Professions Code to accept responsibility.	for the building design or system design identified on this Certificate of Compliance (responsible designer).
The information provided on this Certificate of Compliance is true and correct.  I am eligible under Division 3 of the Business and Professions Code to accept responsibility That the energy features and performance specifications, materials, components, and man requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. The building design features or system design features identified on this Certificate of Compliance shall be made available.  I will ensure that a registered copy of this Certificate of Compliance shall be made available.	for the building design or system design identified on this Certificate of Compliance (responsible designer).  Infactured devices for the building design or system design identified on this Certificate of Compliance conform to to a pullance are consistent with the information provided on other applicable compliance documents, worksheets, ith this building permit application.  In with the building permit(s) issued for the building, and made evailable to the enforcement agency for all applicable to be included with the documentation the builder provides to the building owner at occupancy.
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1. The Information provided on this Certificate of Compliance is true and correct. 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility 3. That the energy features and performance specifications, materials, components, and man requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Compliance calculations, plans and specifications submitted to the enforcement agency for approval with 1 will ensure that a registered copy of this Certificate of Compliance is required Responsible Designer Name:  Aguirre, Ramiro  Company:  AME Design Group  Address:	nufactured devices for the building design or system design identified on this Certificate of Compliance conform to the information provided on other applicable compliance documents, worksheets, ith this building permit application.  In a with the building permit (s) issued for the building, and made evailable to the enforcement agency for all applicable do be included with the documentation the builder provides to the building owner at occupancy.  Responsible Designer Signature:  Responsible Designer Signature:  Date Signed:  2017-12-13 10:29:50  License:

Registration Date/Time: 2017-12-13 10:29:50

Report Version: 2016.1.006

Schema Version: rev 10/16

HERS Provider: CalCERTS

Report Generated: 2017-12-13 10:27:57

CERT	TIFICATE OF	COMPLIAN	CE											CF1R-A
Alte	rations to Sp	ace Condit	ioning Syst	ems (formerly	CF-1R-ALT-HVAC)	)								(Page
Proje	ect Name:					Gol	lden A	partment	s - Type B	Date Pre	pared:			201
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01	Project Nar	me	G	olden Apartme	nts - Type B		02	Date Pre	pared		2017-11	-21		
03	Project Loc	ation	2:	12 N. Golden /	lve		04	Building	Туре		Multi-fa	mily		
05	CA City		Sa	n Bernardino			06	Dwelling	Unit Name		Golden	Apartments	- Туре В	
07	Zip Code		9.	404			08	Dwelling Floor Are	Unit Conditi	oned	668			
09	Climate Zor	ne	1				10	Number Condition		ems in	1			
рс	ngra far du	tionin- 10	") Sureba — I	nformation		3/6	4	Ð	T		h			
D. 3	01	_	) System	03	04	05		06	07	71	08	09	,	10
	C System ntification or Name	Locatio	ystem n or Area rved	CFA served by this SC System (ft <sup>2</sup> )	Is the SC system a ducted	containing	s	ing new Si ystem ponents?	C Installi more tha	n 40 er	Installing itirely nev		new	eration
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Registration Number: 217-A026544464C-000-000-0000000-0000	Registration Date/Time: 2017-11-21 17	
CA Building Energy Efficiency Standards - 2016 Residential Compliance	Report Version: 2016.1.006 Schema Version: rev 10/16	Report Generated: 2017-12-13 09:31:12
CERTIFICATE OF COMPLIANCE		CF1R-ALT-02-E
Alterations to Space Conditioning Systems (formerly CF-1R-ALT-HVAC)		(Page 3 of 3)
Documentation Author's Declaration Statement		
1. I certify that this Certificate of Compliance documentation is a	ccurate and complete.	
Documentation Author Name: Aguirre, Ramiro	Documentation Author Signature:	Ramíro Aguirre
Company: AME Design Group	Signature Date: 2017-11-21 17:29:20	
Address: 2062 Business Center Drive #250	CEA/ HERS Certification Identification	(if applicable):
City/State/Zip: rvine CA 92612	Phone: 949-553-0011	
certify the following under penalty of perjury, under the laws of the State of California:  1. The information provided on this Certificate of Compliance is true and correct.		
certify the following under penalty of perjury, under the laws of the State of California:	ts, and manufactured devices for the building design or sy sate of Compliance are consistent with the information pro approval with this building permit application. de available with the building permit(s) issued for the buil	stem design identified on this Certificate of Compliance conform to the ovided on other applicable compliance documents, worksheets, ding, and made available to the enforcement agency for all applicable
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MILCI	rations to S	COMPLIAN		ame Harmarly	CF-1R-ALT-HVA	r)								(Page 1 of 3)
Proie	ect Name:	pace contr	uomig syste	ems fromerry	rt-TU-WFI-UAN		olden A	partments -	- Type A	Date Pre	nared:			2017-12-13
, .								april at the trace	1,102.11		Parama and a			
CF1R		pplicable to			ng systems con	ained within a si	ngle dv	velling unit.	When mu	ltiple dwe	lling units m	nust be doo	:umented, use	one
	Γ		each dwellin		nda Tura A		02	Data Bass			2017 11			
01	Project Na	pject Name Golden Apartments - Type A  pject Location 2312 N. Golden Ave					Date Prepared 2017-11-21  Building Type Multi-family							
05	<del>-</del>			San Bernardino				04 Building Type  06 Dwelling Unit Nam			Golden Apartments - Type A			
07	Zip Code		92404			08	_	ing Unit Conditioned		564				
	<u> </u>	22.5				Floor Area (ft <sup>2</sup> ) Number of Space								
09	Climate Z	one	10				10	Conditioni this Dwell		stems in	1			
3. Sp	ace Cond	itioning (S	C) System I	nformation		alc		<del>-R</del>	┯		In	C		
	01		02	03	04	05	==	06	07	74	08	09		10
	C System tification o		ystem n or Area	CFA served by this SC	Is the SC system a ducted	Installing a refrigerant containing		ling new SC system	Instal more th		Installing ntirely new	Install entirely		
	Name	ı		System (ft <sup>2</sup> )	system?	component?		ponents?	feet of c		uct system?		em? Alte	ration Type
S	System 1	Unit	Туре А	564	No	Yes		Yes	No	,	No	No		ered space iloning system
C. Ex	ctension o	f Existing [	Ouct System	n, Greater Th	an 40 Feet (Se	ction150.2(b)1	Diib)							
					Th	s section does no	ot apply	y to this proj	ject.					
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CA Bu	uilding Energ	y Efficiency S	tandards - 20	16 Residential C	mpliance			n: 2016.1.006 on: rev 10/16				Report Ge	nerated: 2017-1	12-13 09:29:57
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dent	stem dification	Heating System	Altered Heating	Efficienc	y Efficienc	y Cooling	C	_	Cooling Efficiency	Effici	iency Th	equired ermostat	New or Replaced	New Duct
or_	Name	Туре	Componer All new	nts Type	Value	System Type	-	Il new	Туре	Va	lue	Туре	Duct Length This field or	R-Value This field or
Sys	stem 1	Electric	heating componen	COP ts	3.5	Room AC		ooling nponents	EER	11	1.9	Setback	section is not applicable	section is not applicable
2R-N		ace Conditionir		. A		plenums: R6 (CZ 1-10				_,				
xistin	g duct system	s constructed,	insulated or se	aled with asbestos	are exempt from I	ir Flow MCH-23, or R MCH-20 Duct Leakage or without Equi	Testing	requirements.		ns 150.2	(b)1Diia an	d 150.2(b	)1E, F)	
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				ement Space	Conditioning	System (Sectio	n 150.	2(b)1C)						
F. En	tirely Nev	v or Compl	ete Replac		Th		ot apply	تمسم متطلع مند ر	iert					
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Report Version: 2016.1.006

Schema Version: rev 10/16

CA Building Energy Efficiency Standards - 2016 Residential Compliance

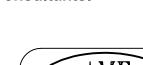
BASIS Architecture & Consulting

2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

P.O.BOX 150539 SAN RAFAEL, CA 94915

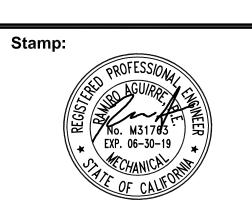
CHARLES PICK, ARCHITECT

Consultants:









DRAWING REVISION LOG

	DIAWING REVISION EOG						
	DERC	04/24/17					
	PLANNING SUBMITTAL	05/12/17					
	FOR BID	05/25/2018					
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PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

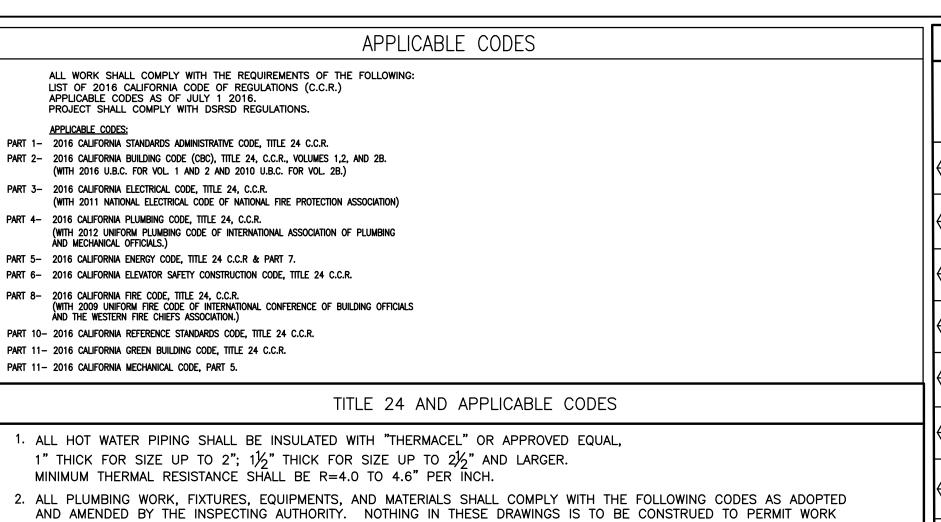
SHEET TITLE:

TITLE 24

Report Generated: 2017-12-13 09:29:57

Registration Number: 217-A026544479C-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2016 Residential Compliance



NOT CONFORMING TO THESE CODES OR OTHERS APPLICABLE TO THIS PROJECT. TITLE 24 PART 1 & 2 OF CODE OF REGULATION 2016 WITH CALIFORNIA

AMENDMENT PARTS 1, 2, 3, 4, 5, 9 AND 12. - APPLICABLE CODES: 2016 CBC 2016 T-24 ENEGRY STANDARDS

2016 CEC 2016 CFC

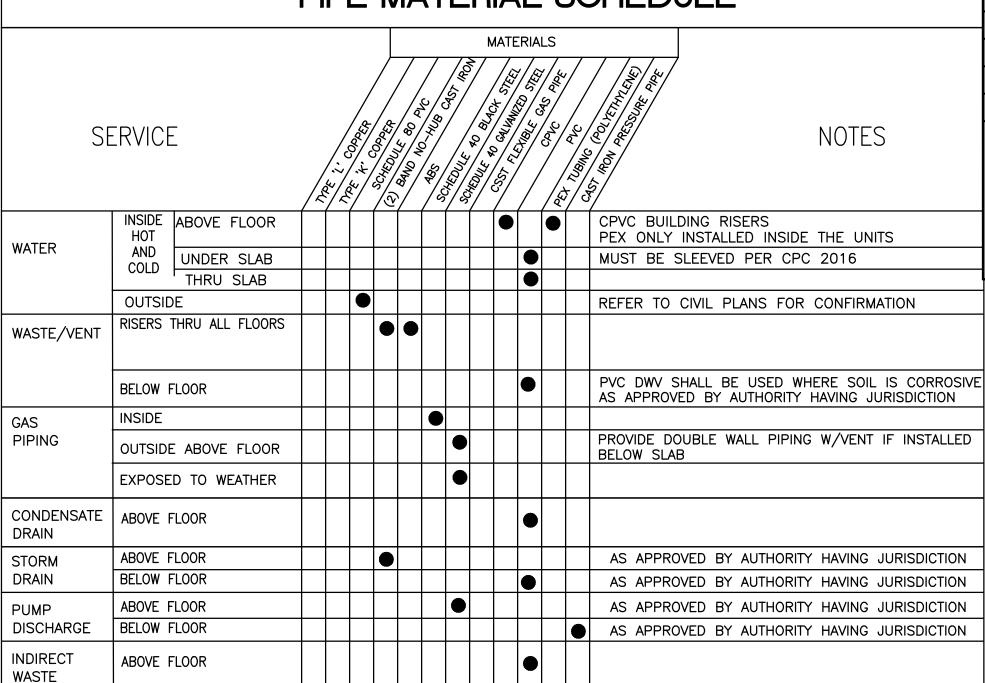
2016 CMC - TITLE 19, C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

STA	ANDARD ABBREVIATION
AP ARCH BEL CI CLG DN (E) FT	ACCESS PANEL ARCHITECT OR ARCHITECTUR BELOW CAST IRON CEILING DOWN EXISTING FOOT, FEET FLUSH TANK
GPM	GALLONS PER MINUTE
HP HZ	HORSE POWER HERTZ
KW MAX	KILOWATT MAXIMUM
MECH.	MECHANICAL MINIMUM
SOV	SHUT OFF VALVE
V	VENT

VTR VENT TO ROOF

STANDARD PLUMBING LEGEND						
SYMBOL	ABBREVIATIONS	DESCRIPTION				
	CW	COLD WATER				
	HW HOT WATER					
V VENT						
W or S WASTE OR SOIL (ABOVE FLOOR)						
	W or S	<del> </del>				
Φ	FC0	FLOOR CLEANOUT				
<del></del> 11	WCO	WALL CLEANOUT				
$\longrightarrow$	SOV	SHUT-OFF VALVE				
$\square$	SOV	SHUT-OFF VALVE ON RISER				
모	WHA	WATER HAMMER ARRESTOR				
•	P.O.C.	POINT OF CONNECTION				

# PIPE MATERIAL SCHEDULE



- INSTALLATION OF CAST IRON FOR WASTE PIPE SHALL COMPLY WITH SECTION 701.1.6 CPC 2016. FOR MORE THAN 2 STORY - INSTALLATION OF PEX WATER PIPING SHALL COMPLY WITH SECTION 604.1.2 PEX, CPC 2016.
- INSTALLATION OF GAS PIPING SHALL COMPLY WITH SECTION 1209.5.4, CPC 2016.
- INSTALLATION OF CPVC WATER PIPING SHALL COMPLY WITH SECTION 604.1.1, CPC 2016.
- ALL CPVC PIPING INSTALLATIONS SHALL BE INSTALLED PER CHAPTER 15 FOR "FIRESTOP PROTECTION" WHERE NEEDED.
- USE FLOWGUARD GOLD CPVC (SDR 11) PIPE & FITTING FOR WATER PIPE SIZE OF 2 INCH AND SMALLER.
- USE CORZAN CPVC SCHEDULE 80 FOR WATER PIPE SIZE OF 2-1/2" AND LARGER.
- ALL EXPOSED GAS PIPING SHALL BE PROTECTED AGAINST CORROSION BY COATING OR WRAPPING WITH AN INERT MATERIAL APPROVED FOR SUCH APPLICATION.
- FOR THE USE OF CPVC SUPPLY PIPING, CONTRACTOR SHALL PROVIDE SPECIFICATIONS FOR THE CERTIFICATION OF COMPLIANCE AND THE WORKER SAFETY PROGRAM. PER 2016 CPC 604.1.1 (d) & (e). FOR THE PEX PIPING, CONTRACTOR SHALL PROVIDE SPECIFICATIONS FOR THE CERTIFICATION OF INSTALLATION PER 2016 CPC SEC. 604.1.2.

FIXTURE ITEM COMPLIANCE W/ UPC SECTION 402, 408.2.2, 413.1, WATER CONSERVATION & AB 1953 COLD | HOT | WASTE WATER | WATER | CONSULT WITH ARCHITECT/OWNER FOR SPECIFICATION, REQUIREMENT & COLOR <mark>/ WC \</mark>|WATER CLOSET | 3/4" | 2" AS SPECIFIED BY DEVELOPER. -- | 3" <mark>/ wc \</mark>|water closet| 3/4" ' 2" AS SPECIFIED BY DEVELOPER. **3"** 1/2" | 1/2" | 2" 2" AS SPECIFIED BY DEVELOPER. LAVATORY 1/2" | 1/2" | 2" 2" AS SPECIFIED BY DEVELOPER. LAVATORY 3/4" | 3/4" | 2" 2" AS SPECIFIED BY DEVELOPER. 3/4" | 3/4" | 2" 2" AS SPECIFIED BY DEVELOPER. BATHTUB  $\sqrt{\mathsf{SH}}$ 3/4" 3/4" 2" 2" AS SPECIFIED BY DEVELOPER. SHOWER / R/0 \ AS SPECIFIED BY DEVELOPER. --KITCHEN SINK | 3/4" | 3/4" | 2" 2" | WITH GARBAGE DISPOSAL. AS SPECIFIED BY DEVELOPER. 1-COMPART. LAUNDRY SINK 3/4" 3/4" | 2" 2" AS SPECIFIED BY DEVELOPER. I-COMPART. CLOTH WASHER 3/4" 3/4" 2" 2" ENERGY STAR. COMPLY WITH CGBC 4.303.3 ENERGY STAR MAXIMUM USE. SPECIFIED BY DEVELOPER. CLOTH DRYER ---- ENERGY STAR. SPECIFIED BY DEVELOPER STACKED

PLUMBING FIXTURE SCHEDULE

**DESCRIPTION** 

ROUGH-IN SERVICES

REFER TO ARCHITECTURAL DRAWINGS FOR DESIGNATION OF ADA UNITS.

- VALVES, PIPING, PLUMBING FIXTURES, & EQUIPMENT SHALL COMPLY WITH AB1953 LEAD FREE REQUIREMENT. ALL FIXTURE SHALL MEET HIGH EFFICIENCY ORDINANCE.
- ALL NEW PLUMBING FIXTURES AND FITTINGS SHALL NOT EXCEED THE MAXIMUM ALLOWABLE FLOW RATES SPECIFIED TABLE BELOW.

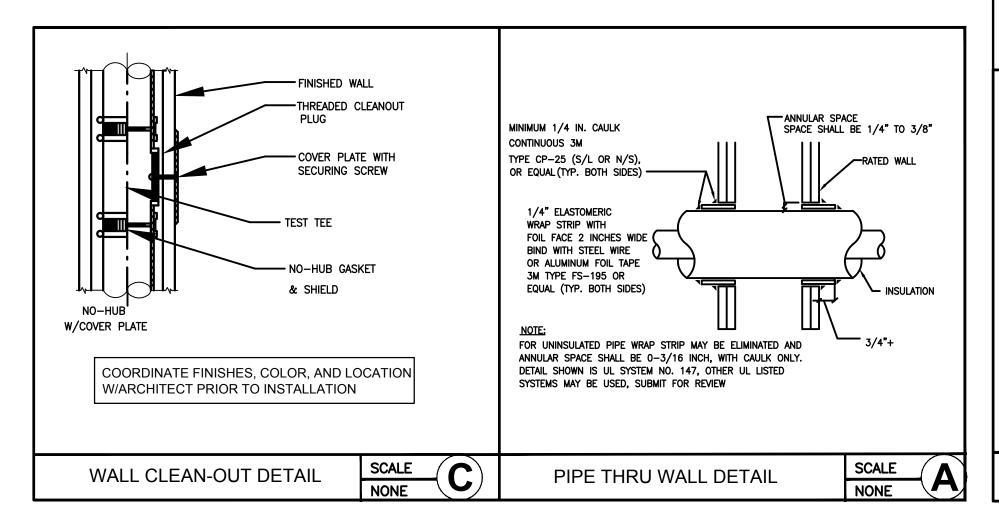
### FIXTURE FLOW RATE TABLE

FIXTURE TYPE	MAXIMUM FLOW RATE
SHOWERHEADS	1.75 GPM @ 80 PSI
LAVATORY FAUCET, RESIDENTIAL	1.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.5 GPM @ 60 PSI
GRAVITY TANK-TYPE WATER CLOSETS	1.28 GALLONS/FLUSH
FLUSHOMETER TANK WATER CLOSETS	1.28 GALLONS/FLUSH
FLUSHOMETER VALVE WATER CLOSETS	1.28 GALLONS/FLUSH
ELECTROMECHANICAL HYDRAULIC WATER CLOSETS	1.28 GALLONS/FLUSH
URINALS	0.5 GALLONS/FLUSH

INCLUDES SINGLE AND DUAL FLUSH WATER CLOSETS WITH AN EFFECTIVE FLUSH OF 1.28 GALLONS OR LESS. SINGLE FLUSH TOILETS - THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE FLUSH VOLUME WHEN TESTED IN ACCORDANCE WITH ASME A112.19.233.2.

DUAL FLUSH TOILETS - THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. FLUSH VOLUME SHALL BE TESTED TESTED IN ACCORDANCE WITH ASME A112.19.2. AND ASME A112.19.

2. LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI.

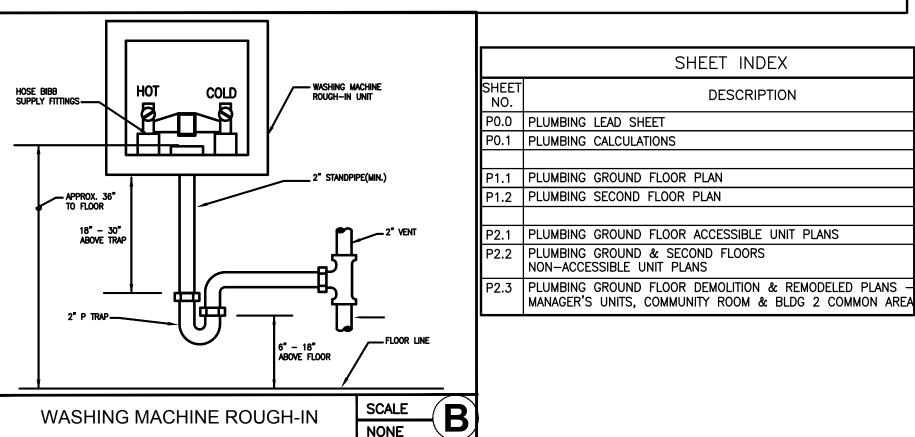


#### PLUMBING GENERAL NOTES

- BEFORE COMMENCEMENT OF WORK, VERIFY THE EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF ALL EXISTING UTILITIES AND PIPING. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- EXACT LOCATIONS AND MOUNTING HEIGHTS OF PLUMBING FIXTURES SHALL BE OBTAINED FROM THE ARCHITECTURAL DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR ADA FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
- ALL PLUMBING WORK SHALL BE INSTALLED SO AS TO AVOID INTERFERENCE WITH ELECTRICAL AND MECHANICAL EQUIPMENT AND STRUCTURAL FRAMING.
- PROVIDE WATER, SEWER, AND DRAIN SYSTEMS TO A POINT OF CONNECTION SHOWN.
- ALL CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. COORDINATE ALL CLEANOUT LOCATIONS WITH EQUIPMENT, CABINETS, ETC., AND THE ARCHITECT PRIOR TO ANY INSTALLATION.
- ALL VALVES, UNIONS, ETC. TO BE SAME SIZE AS PIPE UNLESS OTHERWISE INDICATED ON DRAWINGS.
- UNIONS SHALL BE PROVIDED AND INSTALLED AFTER EACH SCREW-TYPE VALVE AND PRIOR TO EQUIPMENT CONNECTIONS.
- THE CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL UNDERGROUND PIPING PRIOR TO CONSTRUCTION.
- WHERE BRACING DETAILS ARE NOT SHOWN ON THE DRAWINGS OR IN THE GUIDELINES, THE FIELD INSTALLATION SHALL BE SUBJECT TO THE APPROVAL SMACNA REQUIREMENT OF THE MECHANICAL ENGINEER.
- BEFORE FABRICATION OR INSTALLATION, THIS CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT AND EQUIPMENT PROVIDED UNDER ANOTHER SECTION OF SPECIFICATIONS. EXACT ROUGH-IN LOCATIONS AND REQUIREMENTS
- 12. ALL WASTE, DRAIN AND VENT PIPING SHALL SLOPE AT 1/4 INCH PER FOOT UNLESS OTHERWISE INDICATED. (CPC 2016—SEC.
- ALL VALVES, TRAP PRIMERS, WATER HAMMER ARRESTERS OR OTHER EQUIPMENT SHOWN IN WALLS OR ABOVE NON-ACCESSIBLE CEILINGS SHALL BE INSTALLED BEHIND A STAINLESS STEEL ACCESS PANEL.
- ALL HOT WATER PIPING SHALL BE INSULATED WITH "MICRO-LOK" 850-APT, 1" THICK FOR SIZES UP TO 2": 1½" THICK
- ALL WORK AND MATERIAL SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO
- THESE CODES OR OTHERS APPLICABLE TO THIS PROJECT. SEE APPLICABLE CODES ON THIS SHEET 16. THE CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS FOR ALL POINTS OF CONNECTION WITH ALL TRADES PRIOR TO BID.
- 17. (WHERE APPLICABLE) ALL PATCHING AND REPAIRING OF EXISTING FLOORING IS UNDER ANOTHER SECTION OF THESE SPECIFICATIONS. (PLUMBER SHALL COORDINATE WITH GENERAL CONTRACTOR PRIOR TO BID.)
- 18. ALL CONNECTIONS TO EXISTING SERVICES SHALL BE MADE SUCH THAT INTERRUPTION TIME WILL BE AS SHORT AS POSSIBLE.
- 19. ALL EXISTING PIPING DAMAGED DURING EXCAVATION SHALL BE REPAIRED WITH MATERIALS TO MATCH EXISTING
- 20. (WHERE APPLICABLE) ALL EXISTING PIPING AND EQUIPMENT THAT IS REMOVED SHALL BE DISPOSED OFF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- 21. (WHERE APPLICABLE) ALL CUTTING OF EXISTING FLOORING SHALL BE BY MACHINE SAW CUTTING. HOLES FOR PIPES IN CONCRETE WALLS OR FLOORS SHALL BE DONE BY CORE DRILLING EQUIPMENT.
- 22. CONNECTION BETWEEN INCOMPATIBLE MATERIALS ABOVE GRADE AND INSIDE BUILDING SHALL BE MADE WITH TWO (2) DIELECTRIC UNIONS SEPARATED BY A 12" SECTION OF RED BRASS PIPE.
- 23. THE SEISMIC ANCHORAGE OF MECH AND ELECTRICAL EQUIPMENT SHALL CONFIRM TO "APPLICABLE" CODES" INDICATED ON THIS
- SHEET.
  THE CONTRACTOR SHALL VERIFY THE EXACT DEPTH AND LOCATION OF EXISTING DRAINAGE SYSTEM LATERALS PRIOR TO
- 25. HOT WATER PIPING INSULATION SHALL BE IN ACCORDANCE WITH SECTION 123 TABLE 1—G OF THE TITLE 24 REGULATIONS CCR
- 26. ALL NEW PLUMBING FIXTURES AND EQUIPMENT SHALL BE CERTIFIED BY THE CALIFORNIA STATE ENERGY COMMISSION TO COMPLY WITH EFFICIENCY STANDARDS. 27. CLEANOUTS REQUIRED AT THE UPPER TERMINAL FOR EACH HORIZONTAL DRAINAGE PIPE. EACH AGGREGATED CHANGE IN
- DIRECTION EXCEEDING 135 DEGREES, AND AT 100 FT. INTERVALS. THEY SHOULD BE READILY ACCESSIBLE AND SIZED PER (2016 CPC TABLE 7-6, SEC. 706 & 707).
- EACH PLUMBING FIXTURE TRAP SHALL BE VENTED IN ACCORDANCE WITH THE CODE. UNLESS PROHIBITED BY STRUCTURAL CONDITIONS EACH VENT SHALL RISE VERTICALLY TO A POINT NOT LESS THAN SIX (6) INCHES ABOVE FLOOD LEVEL RIM OF FIXTURE BEFORE OFFSETTING HORIZONTALLY. (2016 CPC-SEC. 906.3) THE DISTANCE BETWEEN THE TRAP AND VENT SHALL BE AS SHOWN IN TABLE 10-1 AND SEC. 1002.0 (CPC 2016).
- 29. ALL FIXTURES SHALL CONFORM IN QUALITY AND DESIGN TO NATIONALLY RECOGNIZED APPLICABLE STANDARDS OR TO OTHER APPROVED STANDARDS ACCEPTABLE TO THE ADMINISTRATIVE AUTHORITY. (CPC SEC. 401.0)
- 50. BEFORE ANY DEVICE IS INSTALLED FOR THE PREVENTION OF BACKFLOW OR SIPHONING IT SHALL HAVE FIRST BEEN APPROVED BY THE ADMINISTRATIVE AUTHORITY. (2016 CPC SEC. 603.1).
- 31. PUBLIC LAVATORIES SHALL HAVE CONTROLS TO LIMIT THE WATER TEMPERATURE TO 110° F. (TITLE 24 PART 6 110.3(c) 3)
- 32. SPACING OF CLEANOUTS AND MANHOLES SHALL BE PER (2016 CPC SEC. 719.0).

SECTION 609.9 OF THE PLUMBING CODE.

- 33. INSTALL PIPES AS HIGH AS POSSIBLE TO UNDERSIDE OF STRUCTURE. NO HORIZONTAL PIPE SHALL TOUCH THE SLAB
- 34. PROVIDE ACOUSTICAL PIPE SUPPORT SYSTEM AS MANUFACTURED BY HUBBARD (THE HOLD-RITE SILENCER SYSTEM) ON PIPES RUNING ON STUD WALLS.
- 35. SLEEVES SHALL BE PROVIDED FOR PIPING PASSING THROUGH CONCRETE OR MASONRY FLOORS AND EXTERIOR BEARING WALLS
- 36. EACH PLUMBING VENT SHALL TERMINATE NOT LESS THAN TEN (10) FEET FROM OR AT LEAST THREE (3) FEET ABOVE ANY WINDOW, DOOR, OPENING, AIR INTAKE OR VENT SHAFT.
- 37. ALL REQUIRED CLEANOUTS SHALL BE INSTALLED PER SEC. 707.0 AND 719.0 OF THE 2016 CALIFORNIA PLUMBING CODE.
- 38. COMBUSTIBLE PIPING INSTALLATIONS SHALL BE INSTALLED PER CHAPTER 15 OF 2016 CALIFORNIA PLUMBING CODE FOR "FIRESTOP PROTECTION".
- 39. NEW OR REPAIRED POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE ACCORDING TO THE METHOD SET IN
- 10. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120° F.





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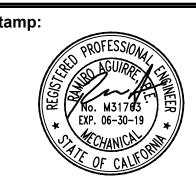
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Stamp:



DRAWING REVISION LOG

DERC	04/24/17
PLANNING SUBMITTAL	05/12/17
FOR BID	05/25/2018

PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

PLUMBING LEAD SHEET

DRAINAGE DEMAND

DRAINAGE

FU TOTAL

1.0 14.0

3.0 42.0

2.0 14.0

2.0 10.0

2.0 24.0

TOTAL=

### HOT & COLD WATER DEMAND

### TOTAL EXISTING FIXTURE UNITS - BLDG 1

TOTAL EXISTING FIXTURE UNITS — BLDG 2

(E) LAVATORY

14 (E) WATER CLOSET

7 (E) KITCHEN SINK

7 (E) BATHTUB

QUANT.

FIXTURE UNITS

FIXTURE

	FIXTURE UNITS	DRA	INAGE
QUANT.	FIXTURE	FU	TOTAL
14	LAVATORY	1.0	14.0
14	WATER CLOSET	3.0	42.0
7	BATHTUB	2.0	14.0
7	SHOWER	2.0	14.0
14	KITCHEN SINK	2.0	28.0
	TOTAL=		112.0

TOTAL NEW FIXTURE UNITS - BLDG 1

FIXTURE UNITS		DRAINAGE		
QUANT.	QUANT. FIXTURE		FU	TOTAL
14	(E) LAVATORY		1.0	14.0
14	(E) WATER CLOSET		3.0	42.0
7	(E) BATHTUB		2.0	14.0
7	(E) KITCHEN SINK		2.0	14.0
		TOTAL=		84.0

	DRAINAGE		
QUANT.	QUANT. FIXTURE		TOTAL
14	(E) LAVATORY	1.0	14.0
14	(E) WATER CLOSET	3.0	42.0
7	(E) BATHTUB	2.0	14.0
7	(E) KITCHEN SINK	2.0	14.0
	TOTAL=		84.0

DRAINAGE

FU TOTAL

1.0 | 14.0

3.0 42.0

2.0 | 14.0 2.0 14.0

TOTAL=

### TOTAL NEW FIXTURE UNITS - BLDG 1

	FIXTURE UNITS			
QUANT.	FIXTURE	FU	CW	HW
14	LAVATORY	1.0	14.0	14.0
14	WATER CLOSET	2.5	35.0	
7	BATHTUB	4.0	28.0	28.0
7	SHOWER	2.0	14.0	14.0
14	KITCHEN SINK	1.5	21.0	21.0
	TOTAL=		112.0	77.0
	<u>.                                      </u>			

#### TOTAL EXISTING FIXTURE UNITS - BLDG 1

	FIXTURE UNITS			
QUANT.	FIXTURE	FU	CW	HW
14	(E) LAVATORY	1.0	14.0	14.0
14	(E) WATER CLOSET	2.5	35.0	
7	(E) BATHTUB	4.0	28.0	28.0
7	(E) KITCHEN SINK	1.5	10.5	10.5
	TOTAL=		87.5	52.5

### WATER PRESSURE CALCULATIONS — RESIDENTIAL UNITS

PRESSURE IN MAIN: 60.0 PSI			
(CALCULATION SHALL BE BASED ON WORST CASE SCENARIO - UNIT 7)			
PRESSURE LOSS THRU WATER METER	=	7.00	PSI
PRESSURE LOSS THRU BACKFLOW PREVENTER	=	7.00	PSI
PRESSURE LOSS THRU MIXING VALVE	=	6.00	PSI
PRESSURE LOSS DUE TO HEIGHT (STATIC HEAD) 20 FT X 0.434	=	8.68	PSI
PRESSURE REQUIRED AT FURTHEST FIXTURE (RESIDUAL)	=	20.00	PSI
SUBTOTAL PRESSURE LOSS	=	48.68 F	PSI

WATER PRESSURE CALCULATIONS

SYSTEM DESIGN PRESS.: 60.0 - 48.68 = 11.32 PSI AVAIL. FOR FRICTION LOSS LONGEST RUN OF PIPE = 300 FT+20% FOR FITTINGS = 360.0 TOTAL DEVELOP LENGTH PRESSURE AVAILABLE: 100(11.32 PSI : 360.0) = 3.00 PSI LOSS/100 FT.

### TOTAL NEW FIXTURE UNITS - BLDG 2

	FIXTURE UNITS			
QUANT.	FIXTURE	FU	CW	HW
14	LAVATORY	1.0	14.0	14.0
14	WATER CLOSET	2.5	35.0	
7	BATHTUB	4.0	28.0	28.0
5	SHOWER	2.0	10.0	10.0
12	KITCHEN SINK	1.5	18.0	18.0
	TOTAL=		105.0	70.0

### TOTAL EXISTING FIXTURE UNITS - BLDG 2

	FIXTURE UNITS				ı —
QUANT.	FIXTURE		FU	CW	HW
14	(E) LAVATORY		1.0	14.0	14.0
14	(E) WATER CLOSET		2.5	35.0	
7	(E) BATHTUB		4.0	28.0	28.0
7	(E) KITCHEN SINK	·	1.5	10.5	10.
		TOTAL=		87.5	52.

# PEX PIPE - UPONOR AQUAPEX

<u>COLD_WATER</u>					
(<8.	0 FPS FOR 5.0 PSI/100	UPONOR FT OF	AQUAPE PIPE	EX)	
SIZE (INCHES)	FLOWRATE (GPM)	TANK FU	VALVE FU	VELOCITY (FT/SEC)	
1/2"	1.3	0	0	2.3	
3/4"	3.2	3	0	2.9	
1"	6.37	7	0	3.5	
1-1/4"	10.88	14	0	4.0	
1-1/2"	17.05	24	11	4.5	
2*	35.73	68	63	5.5	

	HOT WATER  (<5.0 FPS HW) 3.0 PSI/100 FT OF PIPE			
	SIZE (INCHES)	FLOWRATE (GPM)	TANK FU	VELOCITY (FT/SEC)
	1/2"	1.4	0	2.5
	3/4"	3.53	3	3.2
	1"	6.91	7	3.8
	1-1/4"	11.97	15	4.4
	1-1/4"	18.94	27	5
	2**	32.48	58	5

- PEX SHALL BE USED INSIDE OF UNIT WIT PIPE SIZE 2" AND SMALLER.

KITCHEN SINK

TOTAL NEW FIXTURE UNITS - BLDG 2

LAVATORY

WATER CLOSET

QUANT.

12

FIXTURE UNITS

FIXTURE

TOTAL NEW	FIXTURE UNITS — BLDG 3		
	FIXTURE UNITS	DR	AINAGE
QUANT.	FIXTURE	FU	TOTAL
14	LAVATORY	1.0	14.0
14	WATER CLOSET	3.0	42.0
7	BATHTUB	2.0	14.0
5	SHOWER	2.0	10.0
12	KITCHEN SINK	2.0	24.0
	TOTAL	=	104.0

### TOTAL EXISTING FIXTURE UNITS - BLDG 3

FIXTURE UNITS			DRAINAGE	
QUANT.	FIXTURE	FU	TOTAL	
14	(E) LAVATORY	1.0	14.0	
14	(E) WATER CLOSET	3.0	42.0	
7	(E) BATHTUB	2.0	14.0	
7	(E) KITCHEN SINK	2.0	14.0	
	тотл	AL=	84.0	

#### TOTAL NEW FIXTURE UNITS - BLDG 3

	FIXTURE UNITS			
QUANT.	FIXTURE	FU	CW	HW
14	LAVATORY	1.0	14.0	14.0
14	WATER CLOSET	2.5	35.0	
7	BATHTUB	4.0	28.0	28.0
5	SHOWER	2.0	10.0	10.0
12	KITCHEN SINK	1.5	18.0	18.0
	TOTAL=		105.0	70.0

### TOTAL EXISTING FIXTURE UNITS - BLDG 3

	FIXTURE UNITS				
QUANT.	FIXTURE		FU	CW	HW
14	(E) LAVATORY		1.0	14.0	14.0
14	(E) WATER CLOSET		2.5	35.0	
7	(E) BATHTUB		4.0	28.0	28.0
7	(E) KITCHEN SINK		1.5	10.5	10.5
	•	TOTAL=		87.5	52.5

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### DRAWING REVISION LOG

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PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

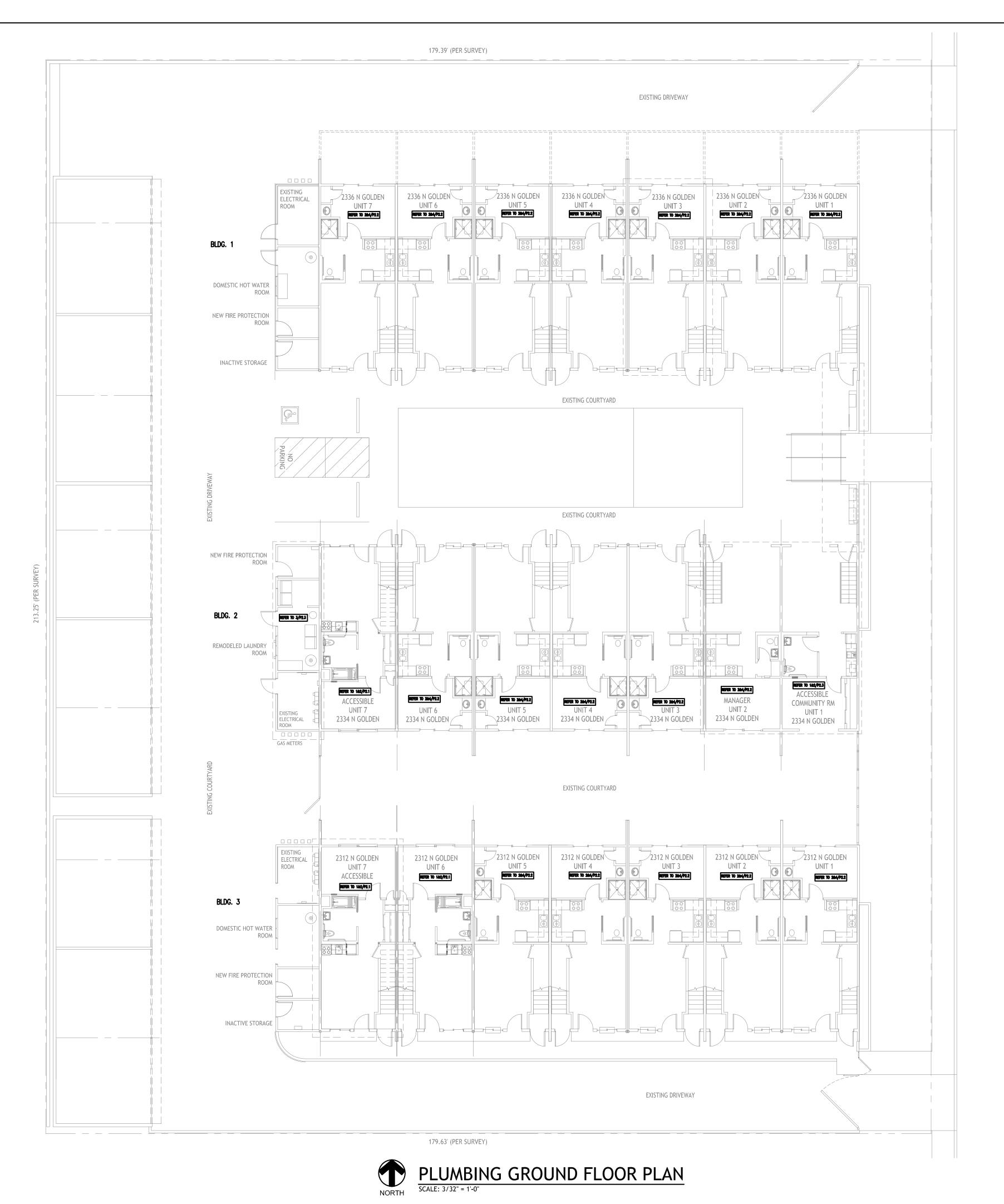
PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

**PLUMBING CALCULATIONS** 

P0.1



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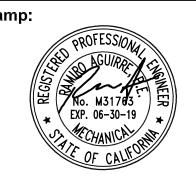
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PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

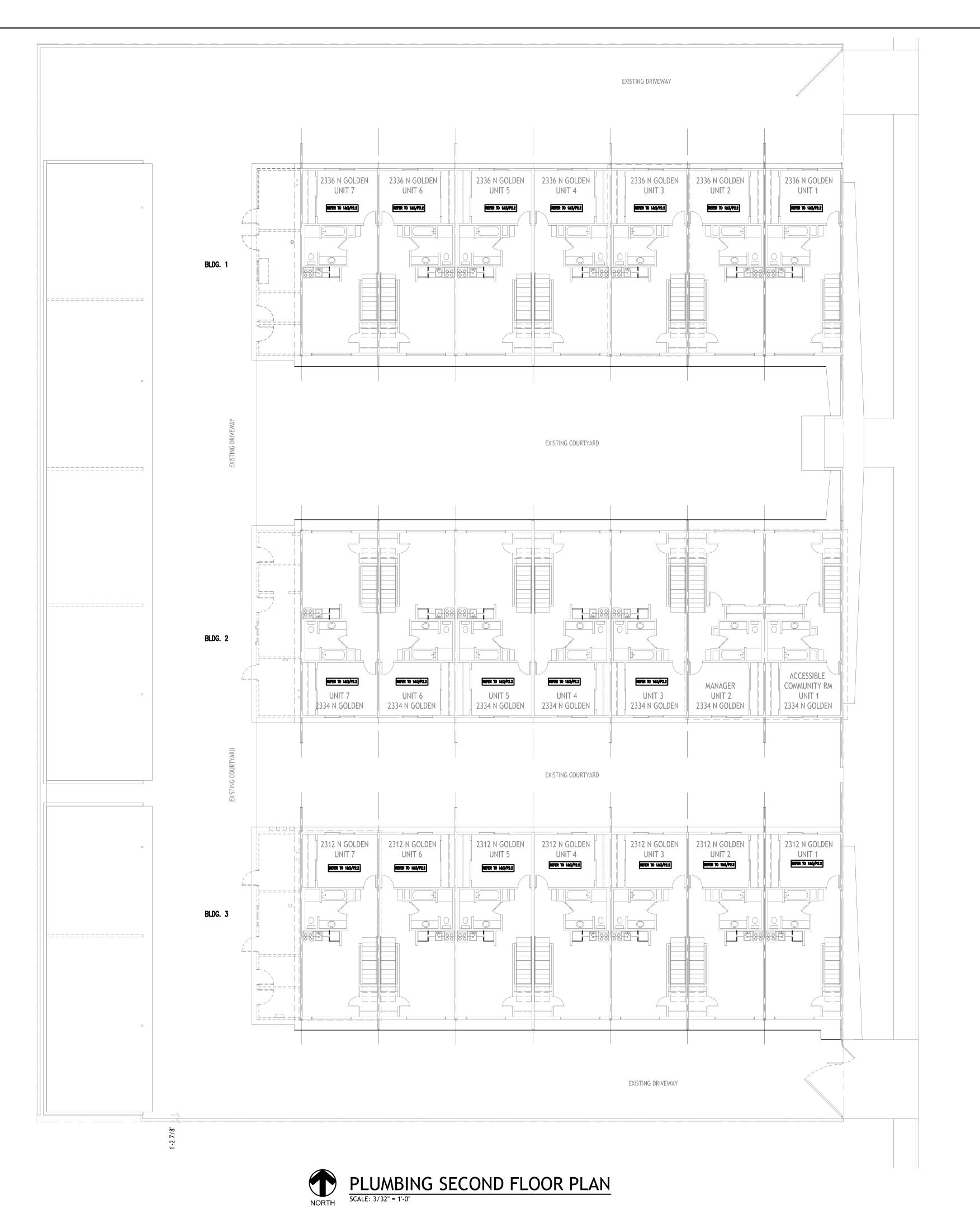
PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

PLUMBING GROUND **FLOOR PLAN** 

P1.1



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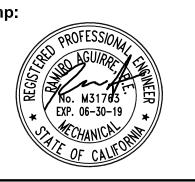
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PROJECT NAME:

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CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

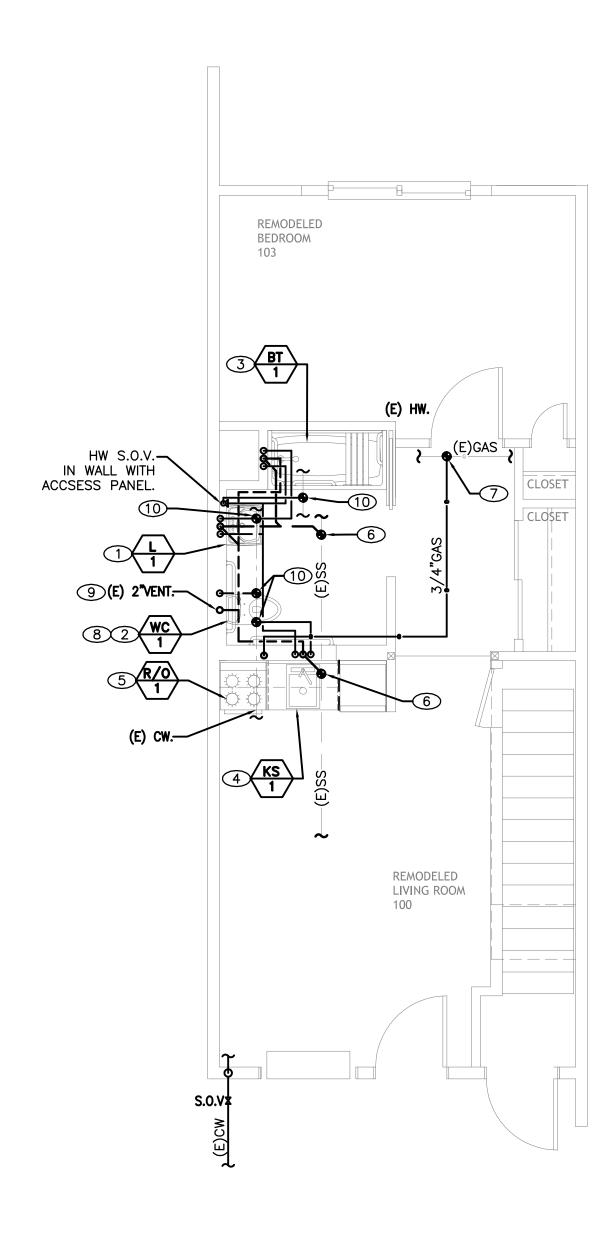
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

PLUMBING SECOND FLOOR PLAN

P1.2



## TYPICAL REMODELED CONSTRUCTION -\PLUMBING GROUND FLOOR ACCESSIBLE UNIT PLAN

Scale: 1/4" = 1'-0"

### LEGEND:

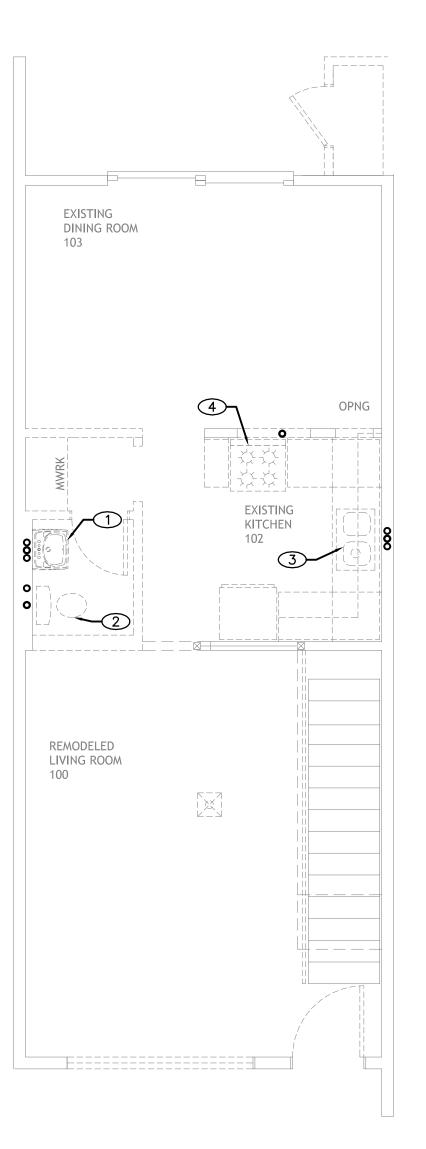
DENOTES POINT OF CONNECTION.

### **GENERAL NOTES:**

- 1. PLUMBING CONTRACTOR SHALL COORDINATE RESPONSIBILITY OF SAW CUTTING PATCHING AND REPAIRING OF FLOORS, CEILINGS AND WALLS RELATED TO HIS/HER SCOPE OF WORK WITH THE GENERAL CONTRACTOR /OWNER/ARCHITECT AS RELATES TO HIS/HER PLUMBING SCOPE CONTRACTUAL WORK.
- 2. ALL HORIZONTAL WASTE PIPING SMALLER THAN 4" DIAMETER SHALL SLOPE AT 2%; ALL WASTE PIPING 4" DIAMETER AND LARGER TO BE SLOPPED AT 2% OR 1% WITH THE APPROVAL OF AUTHORITY HAVING JURISDICTION.

EXISTING HOT & COLD WATER LINES IN THE UNITS SHALL BE REPLACED WITH CPVC MAIN DOWNSTREAM FROM THE SHUT OFF VALVE GOING INTO THE RESIDENTIAL UNIT AND PEX FOR DISTRIBUTION TO FIXTURES.

- 1) 1/2"CW, HW, 2"S & 2"V TO LAVATORY.
- 2 INTERCEPT EXISTING SEWER & VENT PIPES AND INSTALL NEW WATER CLOSET PER SCHEDULE ON PO.O, PATCHING & REPAIRING PER GENERAL NOTE ON THIS
- 3 3/4"CW, HW, 2"S & 2"V TO BATHTUB.
- 4 3/4"CW, HW, 2"S & 2"V TO KITCHEN SINK.
- 5 3/4" GAS CONNECT TO RANGE/OVEN.
- 6 P.O.C TO EXISTING SANITARY MAIN LINE BELOW FINISH FLOOR, INTERCEPT AND EXTEND SEWER LINE AS SHOWN ON PLANS FOR TENANT IMPROVEMENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- 7 P.O.C. TO EXISTING GAS LINE, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- 8 3/4"CW TO WATER CLOSET.
- 9 EXISTING VENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- 10 P.O.C. TO EXISTING COLD & HOT LINES, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.



### TYPICAL DEMOLITION -2 PLUMBING GROUND FLOOR ACCESSIBLE UNIT PLAN Scale: 1/4" = 1'-0"

**DEMOLITION NOTES:** 

- 1) CAREFULLY DISCONNECT AND REMOVE EXISTING LAVATORY. REMOVE AND CAP COLD AND HOT WATER, WASTE AND VENT PIPING IN WALL. PATCHING AND REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 2 DISCONNECT AND REMOVE EXISTING WATER CLOSET, REMOVE AND CAP COLD WATER, WASTE AND VENT
- 3 CAREFULLY DISCONNECT AND REMOVE EXISTING KITCHEN SINK. REMOVE AND CAP COLD AND HOT WATER, WASTE AND VENT PIPING IN WALL. PATCHING AND REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 4 DISCONNECT AND REMOVE EXISTING RANGE/OVEN, REMOVE AND CAP GAS PIPING.

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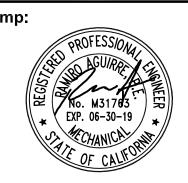
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Stamp:



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PROJECT NAME:

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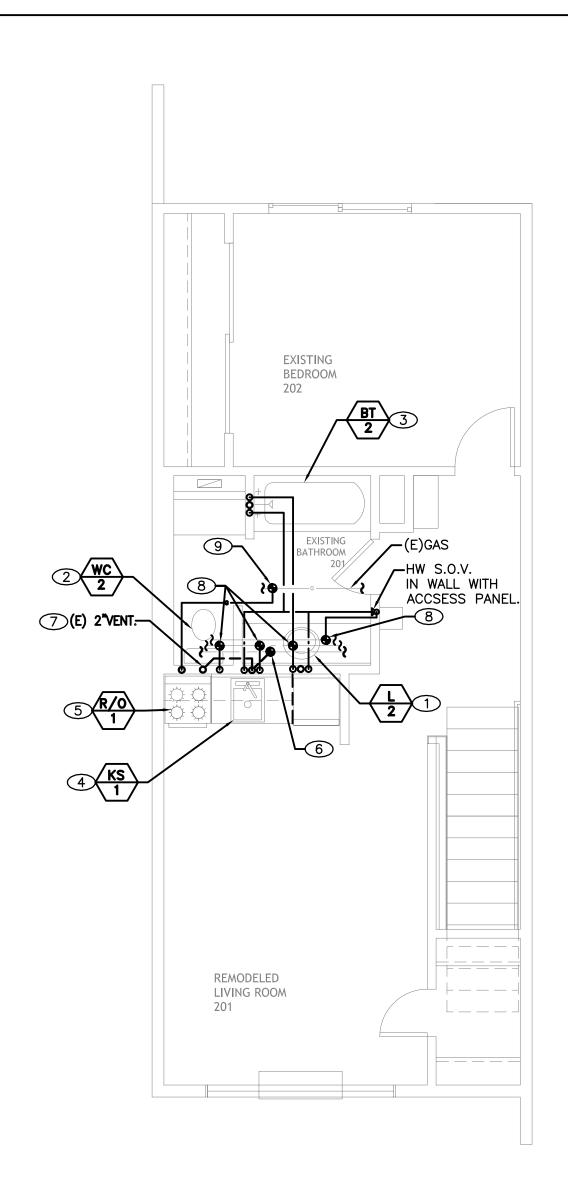
**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

PLUMBING GROUND FLOOR ACCESSIBLE UNIT PLANS



## TYPICAL REMODELED -SECOND FLOOR UNITS - PLUMBING PLAN

Scale: 1/4" = 1'-0"

### LEGEND:

DENOTES POINT OF CONNECTION.

### GENERAL NOTES:

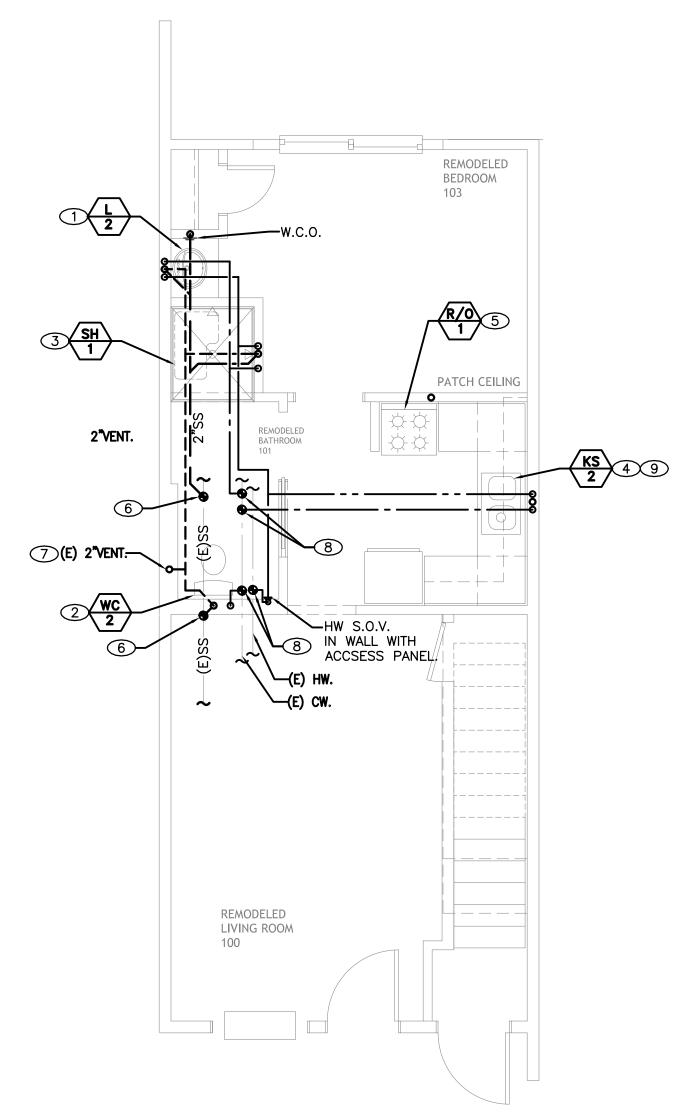
- 1. PLUMBING CONTRACTOR SHALL COORDINATE RESPONSIBILITY OF SAW CUTTING PATCHING AND REPAIRING OF FLOORS, CEILINGS AND WALLS RELATED TO HIS/HER SCOPE OF WORK WITH THE GENERAL CONTRACTOR /OWNER/ARCHITECT AS RELATES TO HIS/HER PLUMBING SCOPE CONTRACTUAL WORK.
- 2. ALL HORIZONTAL WASTE PIPING SMALLER THAN 4" DIAMETER SHALL SLOPE AT 2%; ALL WASTE PIPING 4" DIAMETER AND LARGER TO BE SLOPPED AT 2% OR 1% WITH THE APPROVAL OF AUTHORITY HAVING JURISDICTION.

### SHEET NOTES:

- 1 INTERCEPT EXISTING SEWER & VENT PIPES AND INSTALL NEW LAVATORY PER SCHEDULE ON PO.O, PATCHING & REPAIRING PER GENERAL NOTE ON THIS SHEET.
- (2) INTERCEPT EXISTING SEWER & VENT PIPES AND INSTALL NEW WATER CLOSET PER SCHEDULE ON PO.O, PATCHING & REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 3 INTERCEPT EXISTING SEWER & VENT PIPES AND INSTALL NEW BATHTUB PER SCHEDULE ON PO.O, PATCHING & REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 4 3/4"CW, HW, 2"S & 2"V TO KITCHEN SINK.
- (5) 3/4" GAS CONNECT TO RANGE/OVEN.
- (6) P.O.C TO EXISTING SANITARY MAIN LINE BELOW FINISH FLOOR, INTERCEPT AND EXTEND SEWER LINE AS SHOWN ON PLANS FOR TENANT IMPROVEMENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- (7) EXISTING VENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- 8 P.O.C. TO EXISTING COLD & HOT LINES, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- (9) P.O.C. TO EXISTING GAS LINE, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.

- INTERCEPT THE EXISTING GAS LINE SERVING THE EXISTING (TO BE REMOVED) PACKAGED GAS FIRED HVAC UNIT AND USE FOR NEW RANGE/OVEN.

- INTERCEPT THE EXISTING COLD & HOT WATER LINES SERVING THE EXISTING BATHROOM (TO BE RENOVATED). EXISTING PIPE SHALL BE REPLACED WITH CPVC PIPE. WATER DISTRIBUTION DOWNSTREAM FROM VALVE SHALL BE PEX.



## TYPICAL REMODELED GROUND **FLOOR UNITS - PLUMBING PLAN**

Scale: 1/4" = 1'-0"

### LEGEND:

DENOTES POINT OF CONNECTION.

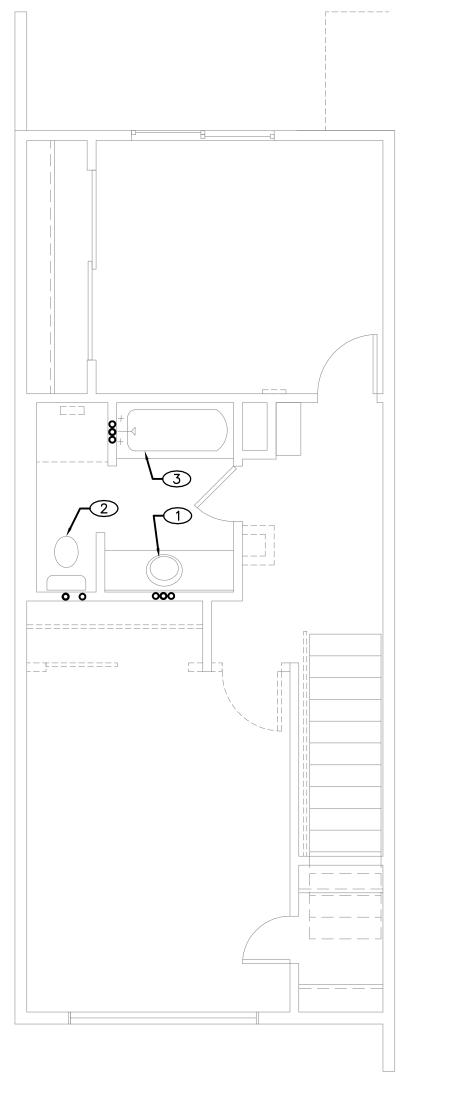
### **GENERAL NOTES:**

- 1. PLUMBING CONTRACTOR SHALL COORDINATE RESPONSIBILITY OF SAW CUTTING PATCHING AND REPAIRING OF FLOORS, CEILINGS AND WALLS RELATED TO HIS/HER SCOPE OF WORK WITH THE GENERAL CONTRACTOR /OWNER/ARCHITECT AS RELATES TO HIS/HER PLUMBING SCOPE CONTRACTUAL WORK.
- 2. ALL HORIZONTAL WASTE PIPING SMALLER THAN 4" DIAMETER SHALL SLOPE AT 2%; ALL WASTE PIPING 4" DIAMETER AND LARGER TO BE SLOPPED AT 2% OR 1% WITH THE APPROVAL OF AUTHORITY HAVING JURISDICTION.

### SHEET NOTES:

- 1) 1/2"CW, HW, 2"S & 2"V TO LAVATORY.
- 2) 3/4"CW, HW, 3"S & 2"V TO WATER CLOSET.
- (3) 3/4"CW, HW, 2"S & 2"V TO SHOWER.
- (4) INTERCEPT EXISTING SEWER & VENT PIPES AND INSTALL NEW KITCHEN SINK PER SCHEDULE ON PO.O, PATCHING & REPAIRING PER GENERAL NOTE ON THIS SHEET.
- (5) INTERCEPT EXISTING GAS PIPE AND INSTALL NEW RANG/OVEN. PATCHING & REPAIRING PER GENERAL NOTE ON THIS SHEET.
- (6) P.O.C TO EXISTING SANITARY MAIN LINE BELOW FINISH FLOOR, INTERCEPT AND EXTEND SEWER LINE AS SHOWN ON PLANS FOR TENANT IMPROVEMENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- (7) EXISTING VENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- 8 P.O.C. TO EXISTING COLD & HOT LINES, EXACT LOCATION AND SIZE TO BE VERIFIED IN
- (9) 3/4"CW & HW TO KITCHEN SINK.

EXISTING HOT & COLD WATER LINES IN THE UNITS SHALL BE REPLACED WITH CPVC MAIN DOWNSTREAM FROM THE SHUT OFF VALVE GOING INTO THE RESIDENTIAL UNIT AND PEX FOR DISTRIBUTION TO FIXTURES.

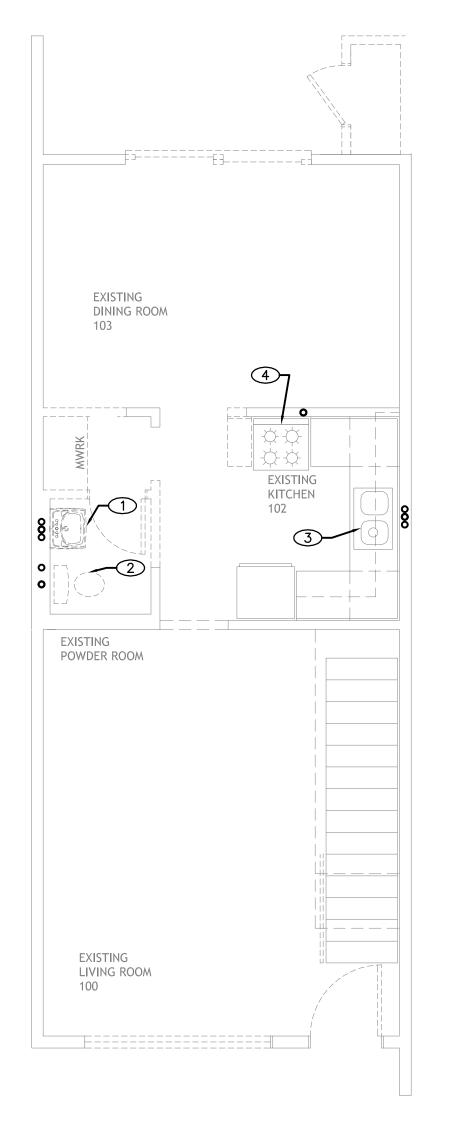


## DEMOLITION AT TYPICAL REMODELED -SECOND FLOOR UNITS- PLUMBING PLAN

Scale: 1/4" = 1'-0"

### **DEMOLITION NOTES:**

- 1) DISCONNECT AND REMOVE EXISTING LAVATORY, REMOVE AND CAP COLD AND HOT WATER, WASTE AND VENT
- 2 DISCONNECT AND REMOVE EXISTING WATER CLOSET, REMOVE AND CAP COLD WATER, WASTE AND VENT
- 3 DISCONNECT AND REMOVE EXISTING BATHTUB, REMOVE AND CAP COLD AND HOT WATER, WASTE AND VENT



## DEMOLITION AT TYPICAL REMODELED -GROUND FLOOR UNITS - PLUMBING PLAN

Scale: 1/4" = 1'-0"

### **DEMOLITION NOTES:**

- 1) CAREFULLY DISCONNECT AND REMOVE EXISTING LAVATORY. REMOVE AND CAP COLD AND HOT WATER, WASTE AND VENT PIPING IN WALL. PATCHING AND REPAIRING PER GENERAL NOTE ON THIS SHEET.
- (2) CAREFULLY DISCONNECT AND REMOVE EXISTING WATER CLOSET. REMOVE AND CAP COLD WATER, WASTE AND VENT PIPING IN WALL. PATCHING AND REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 3 DISCONNECT AND REMOVE EXISTING KITCHEN SINK, REMOVE AND CAP COLD AND HOT WATER, WASTE AND VENT PIPING.
- 4 DISCONNECT AND REMOVE EXISTING RANGE/OVEN, REMOVE AND CAP GAS PIPING.

# BASIS Architecture & Consulting 2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035

FAX (415) 457-6036

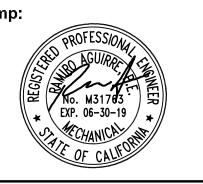
P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT

Consultants:



Stamp:



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DERC	04/24/17	
PLANNING SUBMITTAL	05/12/17	
FOR BID	05/25/2018	

PROJECT NAME:

GOLDEN **APARTMENTS** 

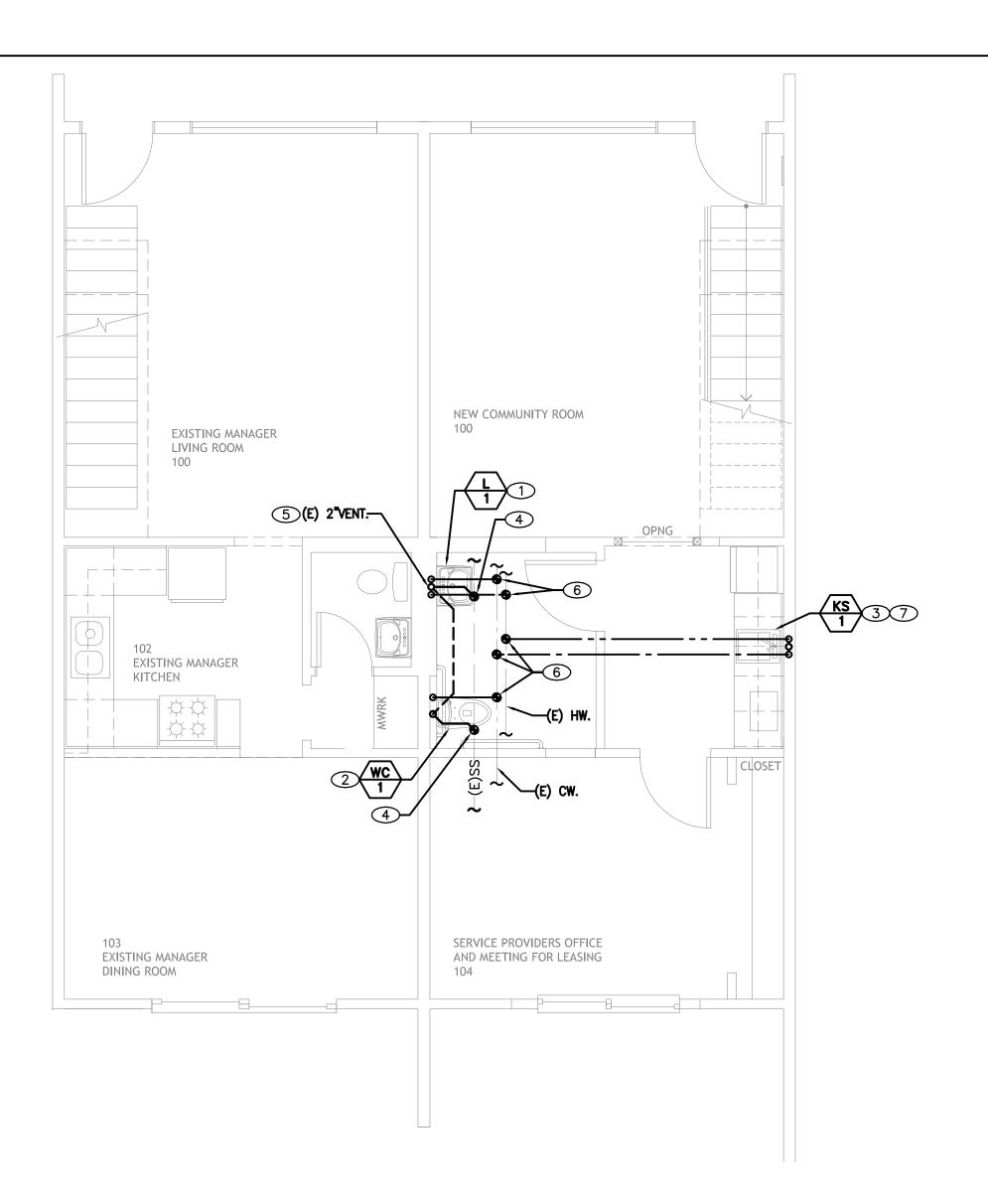
**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

PLUMBING GROUND & SECOND FLOORS NON-ACCESSIBLE UNIT PLANS



## REMODELED GROUND FLOOR UNITS 1 + 2 BUILDING 2 - PLUMBING PLAN

**LEGEND:** 

DENOTES POINT OF CONNECTION.

### **GENERAL NOTES:**

- 1. PLUMBING CONTRACTOR SHALL COORDINATE RESPONSIBILITY OF SAW CUTTING PATCHING AND REPAIRING OF FLOORS, CEILINGS AND WALLS RELATED TO HIS/HER SCOPE OF WORK WITH THE GENERAL CONTRACTOR /OWNER/ARCHITECT AS RELATES TO HIS/HER PLUMBING SCOPE CONTRACTUAL WORK.
- 2. ALL HORIZONTAL WASTE PIPING SMALLER THAN 4" DIAMETER SHALL SLOPE AT 2%; ALL WASTE PIPING 4" DIAMETER AND LARGER TO BE SLOPPED AT 2% OR 1% WITH THE APPROVAL OF AUTHORITY HAVING JURISDICTION.

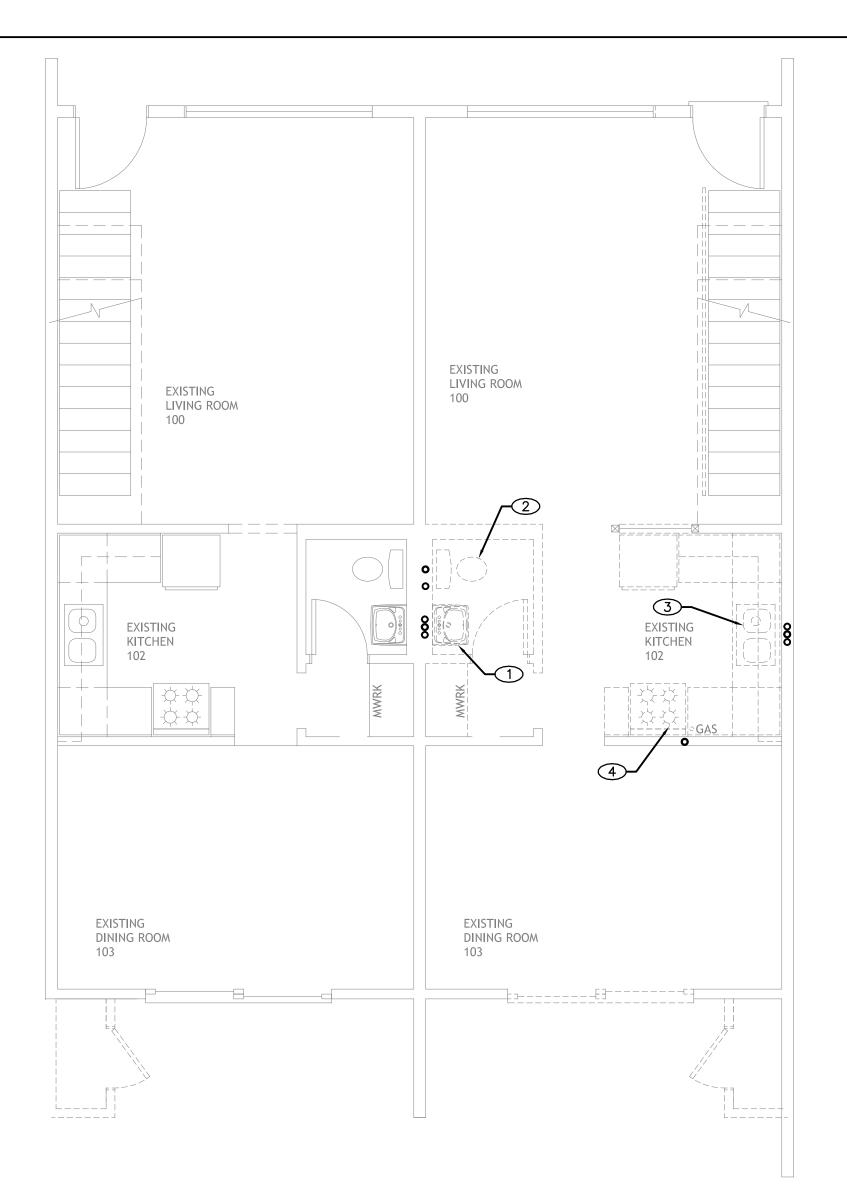
EXISTING HOT & COLD WATER LINES IN THE UNITS SHALL BE REPLACED WITH CPVC MAIN DOWNSTREAM FROM THE SHUT OFF VALVE GOING INTO THE RESIDENTIAL UNIT AND PEX FOR DISTRIBUTION TO FIXTURES.

### SHEET NOTES:

- 1) 1/2"CW, HW, 2"S & 2"V TO LAVATORY.
- 2) 3/4"CW, HW, 3"S & 2"V TO WATER CLOSET.
- (3) INTERCEPT EXISTING SEWER & VENT PIPES AND INSTALL NEW KITCHEN SINK PER SCHEDULE ON PO.O, PATCHING & REPAIRING PER GENERAL NOTE ON THIS SHEET.

Scale: 1/4" = 1'-0"

- 4 P.O.C TO EXISTING SANITARY MAIN LINE BELOW FINISH FLOOR, INTERCEPT AND EXTEND SEWER LINE AS SHOWN ON PLANS FOR TENANT IMPROVEMENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- (5) EXISTING VENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- 6 P.O.C. TO EXISTING COLD & HOT LINES, EXACT LOCATION AND SIZE TO BE VERIFIED IN
- (7) 3/4"CW & HW TO KITCHEN SINK.

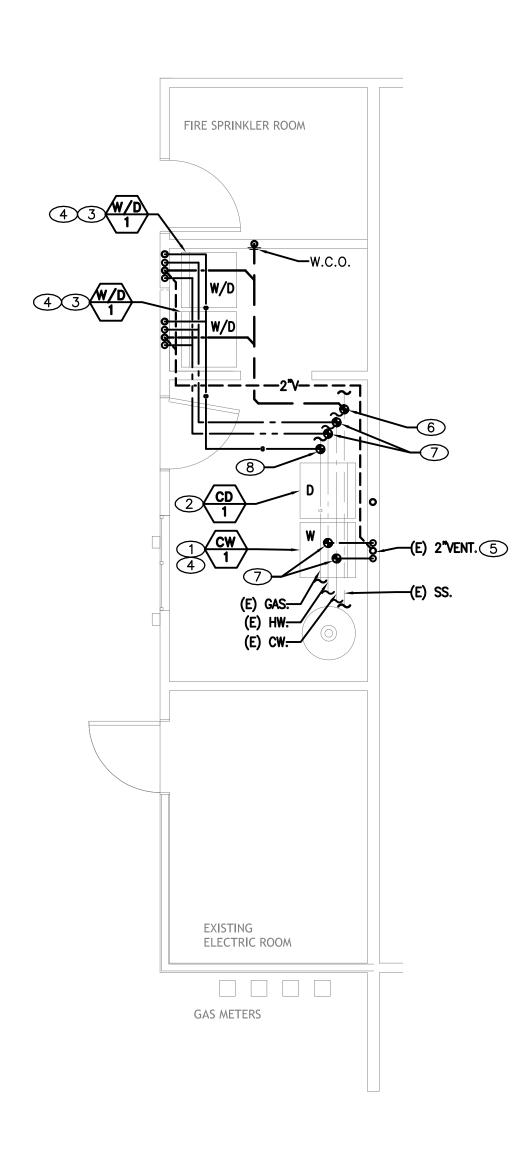


## GROUND FLOOR DEMOLITION UNITS 1 + 2 BUILDING 2 - PLUMBING PLAN

Scale: 1/4" = 1'-0"

### **DEMOLITION NOTES:**

- 1) CAREFULLY DISCONNECT AND REMOVE EXISTING LAVATORY. REMOVE AND CAP COLD AND HOT WATER, WASTE AND VENT PIPING IN WALL. PATCHING AND REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 2 CAREFULLY DISCONNECT AND REMOVE EXISTING WATER CLOSET. REMOVE AND CAP COLD WATER, WASTE AND VENT PIPING IN WALL. PATCHING AND REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 3 CAREFULLY DISCONNECT AND REMOVE EXISTING KITCHEN SINK. REMOVE AND CAP COLD AND HOT WATER, WASTE AND VENT PIPING IN WALL. PATCHING AND REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 4 DISCONNECT AND REMOVE EXISTING RANGE/OVEN, REMOVE AND CAP GAS PIPING.



## REMODELED BLDG 2 COMMON ARE -**PLUMBING PLAN**

Scale: 1/4" = 1'-0"

### LEGEND:

DENOTES POINT OF CONNECTION.

**GENERAL NOTES:** 

- 1. PLUMBING CONTRACTOR SHALL COORDINATE RESPONSIBILITY OF SAW CUTTING PATCHING AND REPAIRING OF FLOORS, CEILINGS AND WALLS RELATED TO HIS/HER SCOPE OF WORK WITH THE GENERAL CONTRACTOR /OWNER/ARCHITECT AS RELATES TO HIS/HER PLUMBING SCOPE CONTRACTUAL WORK.
- 2. ALL HORIZONTAL WASTE PIPING SMALLER THAN 4" DIAMETER SHALL SLOPE AT 2%; ALL WASTE PIPING 4" DIAMETER AND LARGER TO BE SLOPPED AT 2% OR 1% WITH THE APPROVAL OF AUTHORITY HAVING

### SHEET NOTES:

- 1) INTERCEPT EXISTING SEWER & VENT PIPES AND INSTALL NEW CLOTH WASHER PER SCHEDULE ON PO.O, PATCHING & REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 2 INTERCEPT EXISTING GAS PIPE AND INSTALL NEW CLOTH DRYER PER SCHEDULE ON PO.O, PATCHING & REPAIRING PER GENERAL NOTE ON THIS SHEET.
- 3 3/4"CW, HW, 3"S & 2"V TO CLOTH WASHER.
- 4 3/4" GAS CONNECT TO CLOTH DRYER.
- (5) EXISTING VENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- (6) P.O.C TO EXISTING SANITARY MAIN LINE BELOW FINISH FLOOR, INTERCEPT AND EXTEND SEWER LINE AS SHOWN ON PLANS FOR TENANT IMPROVEMENT, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- 7 P.O.C. TO EXISTING COLD & HOT LINES, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.
- 8 P.O.C. TO EXISTING GAS LINE, EXACT LOCATION AND SIZE TO BE VERIFIED IN FIELD.

EXISTING HOT & COLD WATER LINES IN THE COMMON AREA SHALL BE REPLACED WITH CPVC MAIN DOWNSTREAM FROM THE SHUT OFF VALVE GOING INTO THE COMMON AREA AND PEX FOR DISTRIBUTION TO FIXTURES.

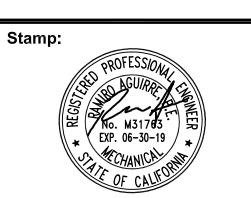
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CHARLES PICK, ARCHITECT

Consultants:





DRAWING REVISION LOG		
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PLANNING SUBMITTAL	05/12/17	
FOR BID	05/25/2018	

PROJECT NAME:

GOLDEN **APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

PLUMBING GROUND FLOOR DEMOLITION & REMODELED PLANS - MANAGER'S UNIT, COMMUNITY ROOM & BLDG 2 COMMON AREA

### ELECTRICAL NOTES

- CONTRACTOR SHALL PERFORM A BURN TEST. LIGHT FIXTURES MUST BURN CONTINUOUSLY PER MANUFACTURER RECOMMENDATION, MINIMUM 48 HOURS. TEST MUST BE REPEATED FOR EARLY BURNOUTS.
- 2. PROVIDE A LABEL ON EACH ELECTRICAL EQUIPMENTS AND DEVICES DENOTING PANEL AND CIRCUIT NUMBER.
- 3 NO CHANGES TO THIS DESIGN SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL
- 4. COORDINATE ALL WORK WITH OTHER TRADES, PRIOR TO EXCAVATION AND INSTALLATION OF UNDERGROUND SYSTEM.
- 5. ALL WIRES SHALL BE COPPER WITH "THWN-2" INSULATION, 600V RATING, 90° FOR UNDERGROUND, UNDER FLOOR, OR WET LOCATION. USE "THHN", 600V, 90° RATING FOR DRY LOCATIONS. UL LISTED
- 6. ALL INSTALLATIONS OF ALL ELECTRICAL WORK SHALL BE COMPLETE AND IN OPERATING COMDITIONS, AND SHALL COMPLY WITH LATEST ELECTRICAL CODE BASED 2014 NEC/2016 CALIFORNIA ELECTRICAL CODE, AND LOCAL AUTHORITIES HAVING JURISDICTION.
- 7. EQUIPTMENT GROUNDING SHALL BE INSTALLED IN EACH CONDUIT AND SHALL COMPLY WITH THE ELECTRICAL CODE.
- 8. ELECTRICAL EQUIPMENT AND DEVICES INSTALLED OUTDOORS SHALL BE ENCLOSED IN WEATHERPROOF, NEMA 3R ENCLOSURES.
- 9 ELECTRICAL EQUIPMENT SHORT CIRCUIT BRACING RATING SHALL BE GREATER OR EQUAL TO MAXIMUM LET THRU CURRENT
- 10 CIRCUIT BREAKERS SHALL BE "SWD" TYPE. SOME C/B SHALL BE WITH PROVISION OF LOCKING CAPABILITY AT OFF POSITION, WHERE REQUIRED PER CODE.
- 11. ALL ELECTRICAL EQUIPMENT AND MATERIAL SHALL BE NEWLY FURNISHED BY CONTRACTOR, AND SHALL BE U.L. LISTED OR APPROVED BY LA COUNTY THIRD PARTY TESTING FACILITY.
- 12. CONDUIT RUNS SHOULD SUIT FIELD CONDITIONS.
- 13. ALL MATERIAL SHALL BE NEW AND WARRANTED FOR ONE YEAR AFTER ACCEPTANCE OF PROJECT BY OWNER.
- 14. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING THE WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO BEST SUIT THE JOB DIMENSIONS OR CONDITIONS. AND SHALL BE INCLUDED AS PART OF THIS WORK. INSTALLATIONS OF EQUIPMENT PER MANUFACTURER RECOMMENDATION
- 15. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE STARTING ANY WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE
- 16. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. ANY DISCREPANCIES IN DRAWINGS WITH JOB CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCING WORK.
- 17. USE RIGID METALLIC CONDUIT WHEN SUBJECT TO MECHANICAL DAMAGES. USE PVC SCHEDULE 40 FOR UNDERGROUND INSTALLATION, AND SCHEDULE 80 PVC FOR UNDERGROUND BENDS. USE ELECTRICAL METALLIC TUBING INCLUSIVE IN ALL DRY LOCATIONS, OR MC CABLE PER CODE. USE FLEXIBLE CONDUIT FOR SHORT MOTOR RUNS OR CONNECTION OF LIGHT FIXTURES WITH MAXIMUM OF 6 FEET
- 18 EXIT SIGN WITH LETTERS HAVING A PRINCIPAL STROKE OF NOT LESS THAN 3/4" WIDE AND A MINIMUM OF 6" HIGH, SHALL BE LOCATED AT DOORS MARKED "EXIT" ON PLANS. EXIT SIGNS SHALL BE INTERNALLY ILLUMINATED AT ALL TIME, WITH BUILT-IN BATTERY PACK OF MINIMUN 90 MINUTES POWER DURATION IN CASE OF POWER FAILURE. INSTALL IN ACCORDANCE WITH CODES. EXIT SIGNS SHALL BE UL LISTED.
- 19. UPON COMPLETION OF THE WORK, CONDUCT AN OPERATING TEST, DEMONSTRATE THAT ALL EQUIPMENTS ARE OPERATING IN A SATISFACTORY MANNER IN ACCORDANCE WITH THE DRAWINGS, AND IN PRESENCE OF THE OWNER.
- 20 EMERGENCY LIGHTING SYSTEM SHALL PROVIDE INTIAL AVERAGE VALUE OF MINIMUM 1 FOOT CANDLE, AND A MINIMUM 0.1 FOOTCANDLES AT ALL EMERGENCY EGRESS PATH FLOOR INCLUDING STAIRS, CORRIDORS,..AND OTHER LOCATIONS REQUIRED BY THE CODES. AT END OF 90 MINUTES EMERGENCY LIGHTING OPERATION, AVERAGE FOOT CANDLE SHALL NOT BE LESS THAN 0.6 FOOT CANDLE OR LESS THAN MINIMUM 0.06 FOOT CANDLE AT EGRESS PATH FLOOR LEVEL.
- 21 ALL ELECTRICAL WORK AND MATERIALS SHALL BE GUARANTEED BY THIS CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER.

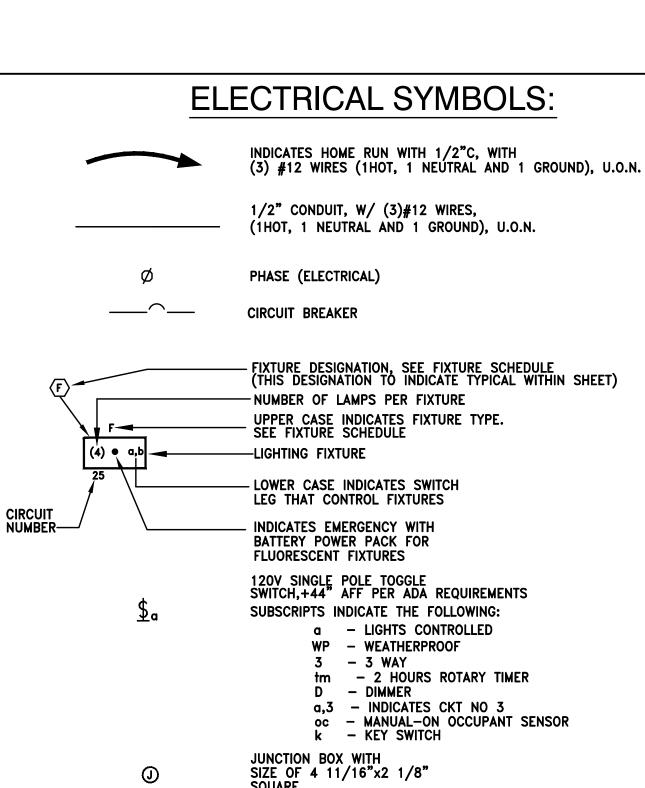
### ADDDEVIATIONS

		ABBREVIA	<u>ATIONS</u>		
A	_	AMPERE	МВ	_	MAIN BREAKER
AFF	_	ABOVE FINISHED FLOOR	M.L.O.	-	MAIN LUGS ONLY
A.I.C.	_	AMPS INTERRUPTING CURRENT	NEMA	-	NATIONAL ELECTRICAL
ANSI	-	AMERICAN NATIONAL STANDARDS INSTITUTE			
CL	_	CENTERLINE	N/L	-	NIGHT LIGHT
С	-	CONDUIT	N.T.S.	-	NOT TO SCALE
C/B	-	CIRCUIT BREAKER	PA	-	PUBLIC ADDRESS
СКТ	_	CIRCUIT	PB	-	PULL BOX
СТ	_	COUNTER TOP	PG&E	-	PACIFIC GAS AND ELECTRIC
DSB	_	DISTRIBUTION SWITCH BOARD	PVC	_	POLYVINYL CHLORIDE
E	-	ELECTRICAL	RGS	-	RIGID GALVANIZED STEEL
E.M.T.	-	ELECTRIC METALLIC TUBING	SW	-	SWITCH
EUSERC	_	ELECTRIC UTILITY SERVICE EQUIPMENTS	SWD	-	SWITCHING DUTY
		REQUIREMENTS	T	-	TELEPHONE
EX	-	EXISTING	TYP	_	TYPICAL
FA	-	FIRE ALARM	U.L.	_	UNDERWRITERS LABORATORIES
FACP	-	FIRE ALARM CONTROL PANEL	U.O.N.	_	UNLESS OTHERWISE NOTED
FIXT.	-	FIXTURE		_	WITH
FLUO.	-	FLUORESCENT	W/	_	
GND	-	GROUND	U/F	-	UNDER FLOOR
G.F.I.	-	GROUND FAULT INTERRUPTER	U/G	-	UNDERGROUND
JB	-	JUNCTION BOX	W.P.	_	WEATHERPROOF
			XFMR		TRANSFORMER

### **ELECTRICAL SHEET INDEX**

- E-1.0: GENERAL NOTES, LEGEND AND FIXTURE SCHEDULE
- E-1.1: ELECTRICAL SITE PLAN
- E-2.0: BUILDING EXTERIOR LIGHTING PLAN E-2.1: BUILDING EXTERIOR LIGHTING AND ROOF PLAN
- E-3.0: ELECTRICAL UNIT PLAN
- E-3.1: ELECTRICAL MANAGER UNIT PLAN
- E-3.2: ELECTRICAL RECREATION UNIT PLAN
- E-4.0: UTILITY AND LAUNDRY ELECTRICAL PLAN
- E-5.0: ONE LINE DIAGRAM
- E-5.1: ONE LINE DIAGRAM

- THIS PROJECT REQUIRES FIRE ALARM SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETELY DESIGN AND INSTALL A FIRE ALARM SYSTEM. CONTACT QUALIFIED MANUFACTURE COMPANY SUCH AS SIMPLEX SUBMIT TO BUILDING AND SAFETY FOR APPROVAL THE COMPLETE DESIGN WITH ALL CUT SHEETS, CALCULATIONS.. INCLUDE IN THE BID ALL NEEDED ELECTRICAL WORK TO INSTALL CORRESPONDING CONDUITS, JUNCTION BOXES,...
- THIS PROJECT REQUIRES COMPLETE DESIGN AND BUILD SECURITY ALARM SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETELY DESIGN AND INSTALL A SECURITY ALARM SYSTEM WITH ALL CAMERAS, AND HARDWARE TO COVER THE ENTIRE SITE. THE CCTV MONITORS AND EQUIPMENT SHALL BE INSTALLED IN ELECTRICAL ROOM. PROVIDE ALL | NEEDED POWER, TELEPHONE CONNECTIONS AND ALL CONDUIT AND WIRES PER CODE



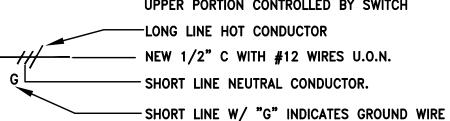
6" SQUARE BOX

NEW DUPLEX RECEPTACLE, 125V, 20A, 3W, WITH GROUND, +18" AFF TO BOTTOM OF OUTLET, U.O.N. "LEVITON". F: INDICATES FLOOR CARPET MONUMENT

FL: INDICATES FLOOR MOUNT CL: INDICATES CEILING MOUNT

NEW GFI DUPLEX RECEPTACLE, 125V, 20A, 3W, WITH GROUND, +18" AFF U.O.N. "LEVITON". WP: INDICATES WEATHERPROOF NEW DUPLEX RECEPTACLE, 125V, 20A, 3W, WITH GROUND, +18" AFF U.O.N. "LEVITON". UPPER PORTION CONTROLLED BY SWITCH

FIXTURE DESIGNATION, SEE FIXTURE TABLE



PANELBOARD DISTRIBUTION SWITCHBOARD

(1,3,5)

€ OC

THERMOSTAT PER MECH PLANS.

EXHAUST FAN PER MECHANICAL PLANS

PARENTHESES AROUND CIRCUIT

CEILING OCCUPANCY SENSOR

INDICATES 2 OR 3 POLES.

**EXIT SIGN PER PLAN** SHEET WHERE DETAIL IS SHOWN

SHEET WHERE DETAIL IS REFERENCED FROM

PER PLANS

COMBINATION SMOKE/CARBON MONOXIDE DETECTORS. SEE KEY NOTE NO 14 ON UNIT PLAN NO E-3.0/E-3.1. 9: INDICATES CIRCUIT NUMBER. (TYP)

- NEW TELEPHONE JACK MOUNTED AT 18" AFF, UON. INSTALL (1) 4 PAIRS CATAGORY 5E, LEVEL 5 VOICE/DATA UNSHIELDED AND TWISTED PAIR (UTP) WIRES. BLUE COLOR FOR TELEPHONE, BACK TO MEDIA BOX IN GARAGE TERMINATE TELEPHONE WIRES AT (1) RJ11 FEMALE CONNECTION JACK WITH PHASE PLATE, FLUSHED WITH WALL, WITH (2) PAIRS WIRES PUNCHED DOWN - NEW TV/CABLE JACK MOUNTED AT 18" AFF, UON. INSTALL (2) TV CABLE, BACK TO MEDIA BOX IN GARAGE TERMINATE TV CABLE CONDUIT AT (2) TV CABLE JACK PER CABLE REQUIREMENTS

WALL WALL BLDG WALL BLDG WALL
WALL BLDG WALL
BLDG WALL
BLDG WALL
SURFACE
SURFACE
UNIVERSAL/ SEE ARCH FOR ARROW DIRECTIONS
RECESSED/ GYPSUM BOARD
RECESSED/ GYPSUM BOARD
WALL
CEILING
WALL
SURFACE
SURFACE
SURFACE

LICHT EIXTLIBE CCHEDLILE

\*: ALL LED FIXTURES WITHIN UNITS SHALL BE TITLE 24 APPROVED AND IS LISTED IN THE T24 DATA BASE. SHOP DRAWINGS SUBMITTALS SHALL INCLUDE A COPY OF THE FIXTURE TITLE 24 DATA BASE INFORMATION

APPLICABLE CEC 2016 LOW/HIGH RISE RESIDENTIAL TITLE 24 LIGHTING REQUIREMENTS

- ALL LUMINAIRES SHALL QUALIFY AS HIGH EFFICACY LUMINAIRES
- ALL RECESSED LED/FLUORESCENT FIXTURES INTO INSULATED CEILINGS: . SHALL BE RATED FOR INSULATION CONTACT (IC RATED). THE HOUSING OF LUMINAIRE SHALL BE CERTIFIED AS AIRTIGHT CONSTRUCTION, WHERE LEAKAGE THROUGH LUMINAIRE WILL NOT EXCEED 2.0 CUBIC FEET PER MINUTE WHEN EXPOSED TO 75 PASCALS PRESSURE DIFFERENCE WHEN TESTED WITH ASTM E283 STANDARDS
- LUMINAIRE SHALL HAVE SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING, TO PREVENT AIRFLOW INTDIGENTING DIODE
- ALL FLUORESCENTS OF 13W LAMP AND HIGHER SHALL HAVE ELECTRONIC BALLASTS ALL FIXTURES NORMAL AND EMERGENCY BALLASTS SHALL BE FACTORY INSTALLED. NO FIELD BALLAST INSTALLATION IS ALLOWED ALL FIXTURES SHALL BE SUPPLIED WITH APPROPRIATE LAMPS FLUO:—FLUORESCENT LED:—

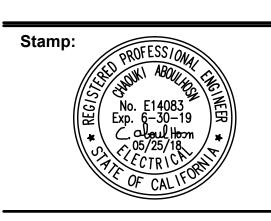
LIGHT FIXTURE SCHEDULE E-1.0 / SCALE: NONE

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DRAWING REVISION LOG

LOG
12/12/17
04/16/2018
05/03/2018
05/25/2018

PROJECT NAME:

**GOLDEN APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

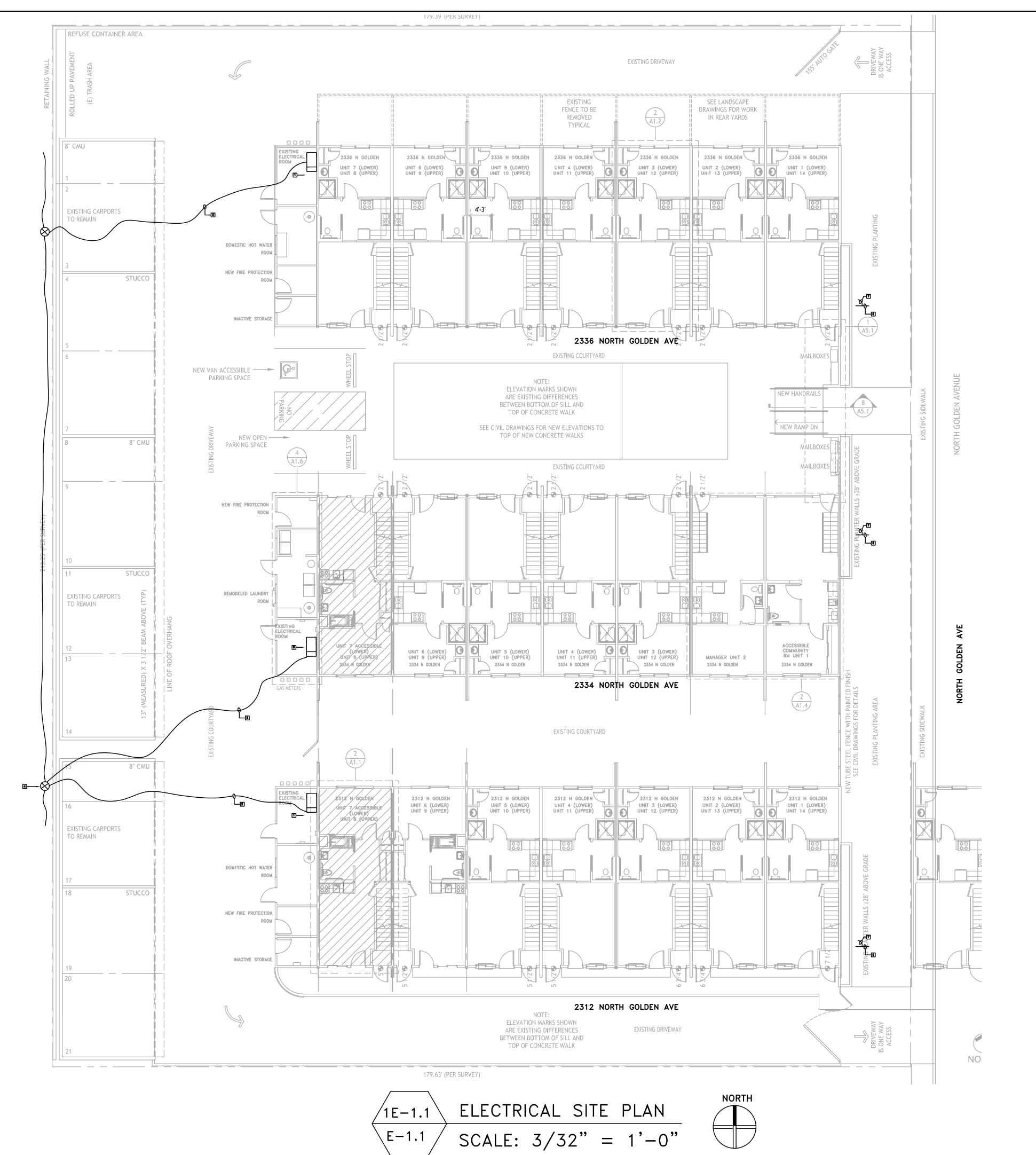
PROJECT LOCATION:

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SHEET TITLE:

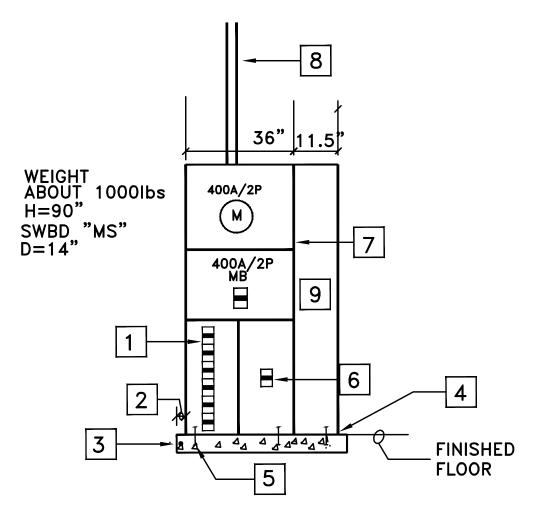
GENERAL NOTES, LEGEND AND FIXTURE **SCHEDULE** 

E-1.0



#### **KEY NOTES:**

- REMOVE EXISTING ELECTRICAL SERVICE AND INSTALL NEW ELECTRICAL SERVICE PER DWG E-5.0, AND DET. 2E-1.1
- 2 EXISTING SCE POWER POLES TO REMAIN
- NEW SCE OVERHEAD LINES TO NEW UPGRADED SERVICE
- 4 EX. SCE POWER POLES TO REMAIN. (TYP)
- FER DWG E-5.1 AND DET. 2E-1.1
- 6 EX. MAIN WATER LINE. VERIFY IN FIELD PRIOR TO START CONSTRUCTION
- 7 NEW 1"C-NEW 1#1/0 GND TO WITHIN 5' OF MAIN WATER LINE BUILDING ENTRY PER CODE TO NEW BUILDING ELECTRODE SYSTEM SHOWN ON E-5.0/E-5.1



- THE WHOLE MAIN ELECTRICAL SERVICE IS DESIGNED AROUND "SQUARE D" PRODUCTS BASED ON INDOOR TYPE SPEED-D

### **KEY NOTES:**

- 1 I-LINE SWITCHBOARD SECTION WITH UNIT MOUNTING SPACE OF 27" FOR FEEDER BREAKERS. USE TYPE KC BREAKERS RATED FOR 65,000 AIC AT 240V. KC BREAKERS PROVIDE UL LISTED SERIES RATING OF 65,000 AIC WITH TYPE QOB BREAKERS OF 10,000 AIC
- 2 3" ALL AROUND EQUIPMENTS
- 9" DEEP CONCRETE, 3000 PSI, FLUSHED WITH FLOOR. INSTALL #4 REBARS IN THE MIDDLE AT 12" OFF CENTER VERTICALLY AND HORIZONTALLY. INSTALL SWITCHBOARD ON CONCRETE AS NEEDED
- 4 BOLT DOWN EQUIPMENTS TO CONCRETE FOUNDATION
- 5 MINIMUM 5/8" DIAMETER EXPANSION ANCHOR BOLTS PER MANUFACTURER, MINIMUM 6 LOCATIONS
- 6 SPACE FOR (2) "K" TYPE BREAKER
- 7 INDOOR "SQUARE D" SPEED-D SWITCHBOARD.
- 8 OVERHEAD CONDUIT TO ABOUT 3' ABOVE ROOF PER ONE LINE DIAGRAM E-5.0/E-5.1. INSTALL 2" WEATHERPRROF WEATHERHEAD CAP AND ORIENT PER SCE REQUIREMENTS
- 9 INDOOR LOAD WIREWAY





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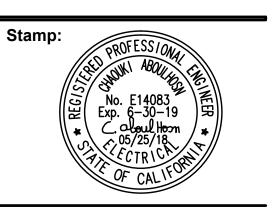
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DRAWING REVISION LOG

LUG
12/12/17
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05/03/2018
05/25/2018

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

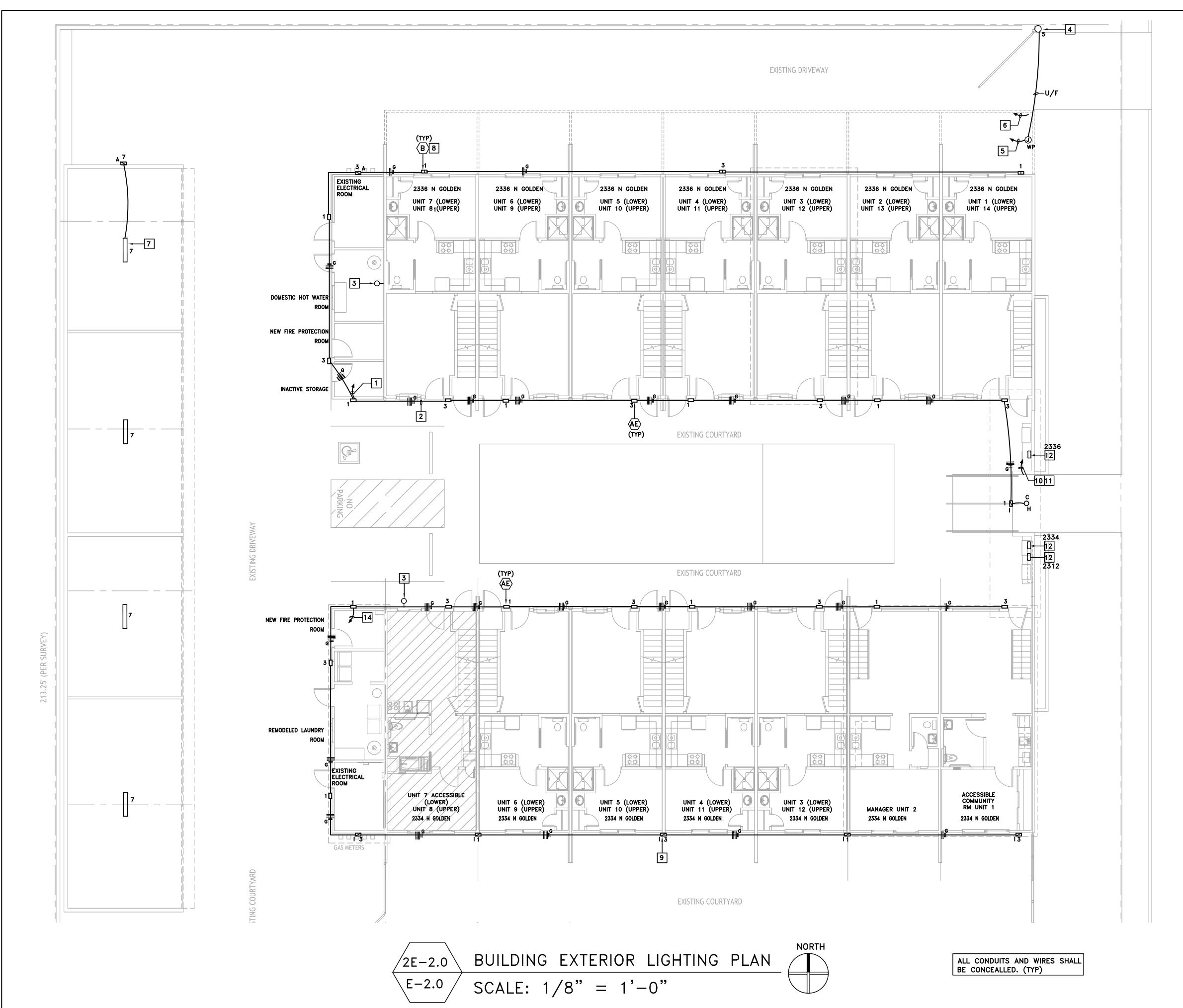
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

**ELECTRICAL SITE PLAN** 

E-1.1



### KEY NOTES:

- 1 3/4"C WITH 5#10 AND 1#10 GND, CKTS NO A-1,3 VIA MAIN LIGHT CONTROL (E-4.0). WIRES INCLUDE TWO UNSWITCHED HOT WIRES FOR EMEREGNCY LED DRIVERS
- 2 3/4"C WITH NO 10 WIRES TO AVOID EXCESSIVE VOLTAGE DROP. (TYP)
- INSTALL 120V PHOTOCELL AT 20' AFF WITH 1/2"C-2#12 AND 1#12 GND BACK TO MAIN LIGHT CONTROL (E-4.0).
- 4 NEW UPGRADED 120V MOTOR GATE FOR ENTRANCE
- 5 NEW 3/4"C WITH 2#10 AND 1#10 GND, CKT SHOWN ON PLANS. CONTRACTOR MAY USE PORTION OF EXISTING CONDUIT IF IN GOOD CONDITIONS. PROVIDE ALL HARDWARES. (TYP)
- 6 NEW 1/2"C WITH NEW TELEPHONE CABLE BACK TO MAIN BUILDING TELEPHONE TERMINAL FOR FIRE DEPARTMENT ACCESS CODE. CONTRACTOR MAY USE PORTION OF EXISTING CONDUIT IF IN GOOD CONDITIONS. PROVIDE ALL HARDWARES. (TYP)
- 7 REPLACE EXISTING FIXTURE WITH NEW TYPE D FIXTURE AND FED BY SAME CIRCUIT. (TYP)
- 8 INSTALL FIXTURE TYPE B AT 20' ABOVE FINISHED FLOOR ON SECOND EAVE OF BUILDING. (TYP)
- 9 INSTALL NON ADA FIXTURE TYPE I AT 90" CENTER LINE ABOVE FINISHED FLOOR, WITH BOTTOM NO LESS THAN 80" AFF. (TYP)
- 10 EXTERIOR MAIN BUILDING TELEPHONE ENTRY SYSTEM FOR BUILDING'S ENTRANCE. SUBMIT A COMPLETE DESIGN AND BUILD SYSTEM PER OWNER APPROVAL. INSTALL 500 VA FUSED BOTH SIDES LOW VOLTAGE TRANSFORMER, 120V TO 24VAC, TO FEED ENTRY SYSTEM
- 11 -1/2"C WITH CAT 5E TELEPHONE WIRES AND DEDICATED TELEPHONE NUMBER FOR ALL 3 BUILDINGS AND EXTRA 5 NUMBERS.
  -3/4"C WITH WIRES TO STRIKE OUT MAIN ENTRANCE DOOR. DOOR TO UNLOCK IN PRESET TIME WHEN ENTRY SYSTEM IS DIALED IN.
  -1/2"C WITH WIRES TO STRIKE DOOR SOLENOID OPEN
- FIRE ALARM ANNUCIATOR WITH DEDICATED TWO TELEPHONE LINES IN 1/2"C.
  INSTALL 1/2"C WITH 2#12 AND 1#12 GND TO BUILDING HOUSE PANEL

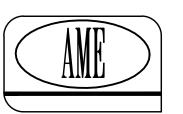
CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK ALL EXISTING CONDITIONS, AND INCLUDE IN THEIR BID ALL WORK THAT NEED TO BE REMOVED TO ALLOW INSTALLATION SHOWN ON THIS PROJECT. ALL MATERIALS SHALL BE NEW

# BASIS Architecture & Consulting

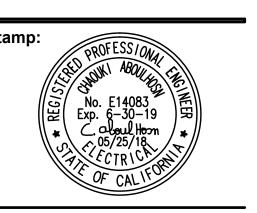
2130 FOURTH ST SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

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DRAWING REVISION LOG

12/12/17
12/12/17
04/16/2018
05/03/2018
05/25/2018

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

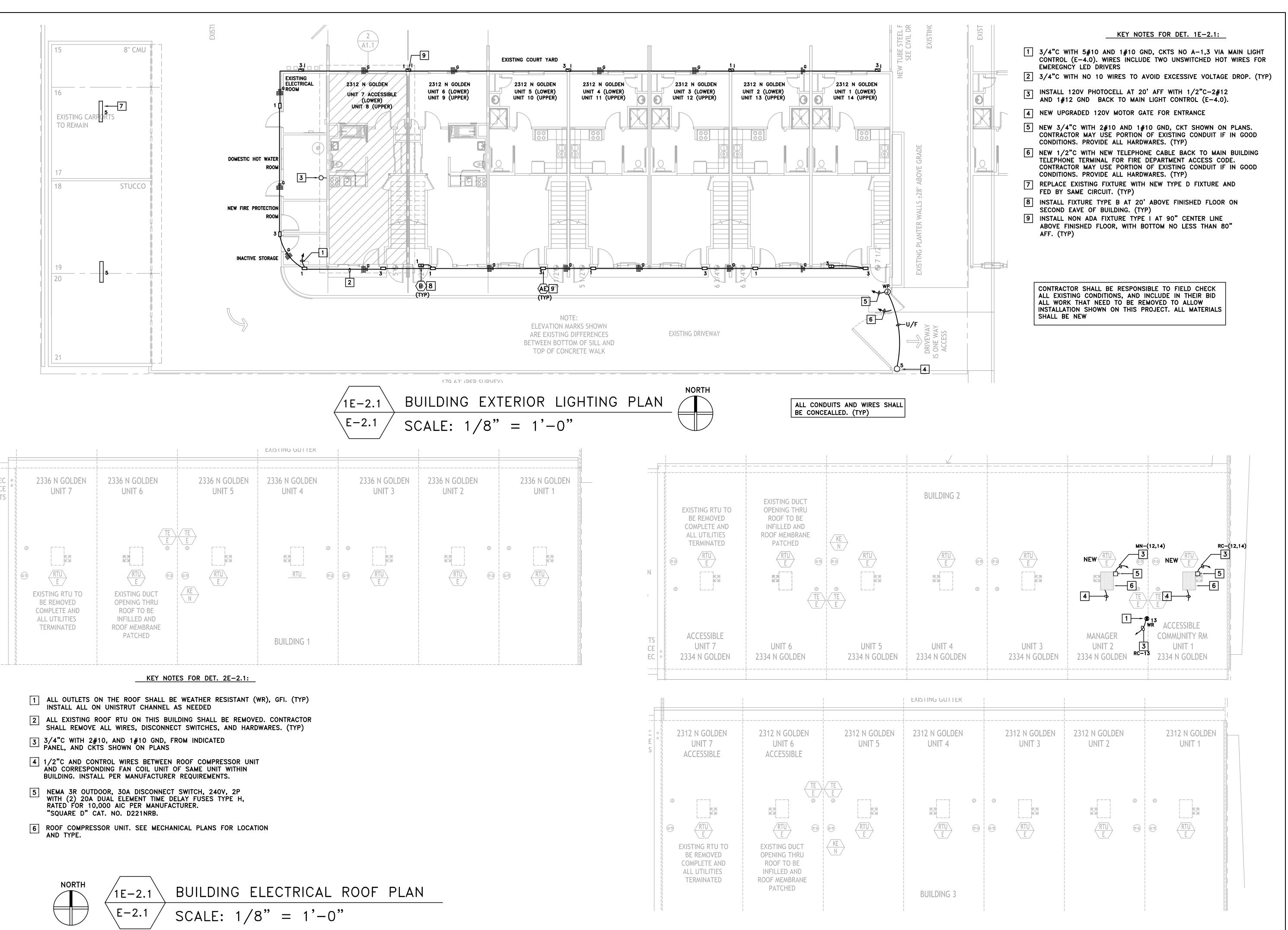
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

BUILDING EXTERIOR LIGHTING PLAN

E-2.0



BASIS & Consulting

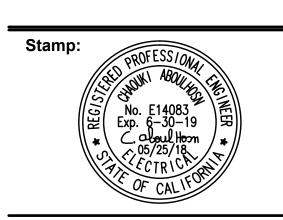
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### DRAWING REVISION LOG

DRAWING REVISION	LOG
SUBMITTAL	12/12/17
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PLAN CHECK RE-SUBMITTAL	05/03/2018
FOR BID	05/25/2018
	-

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CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

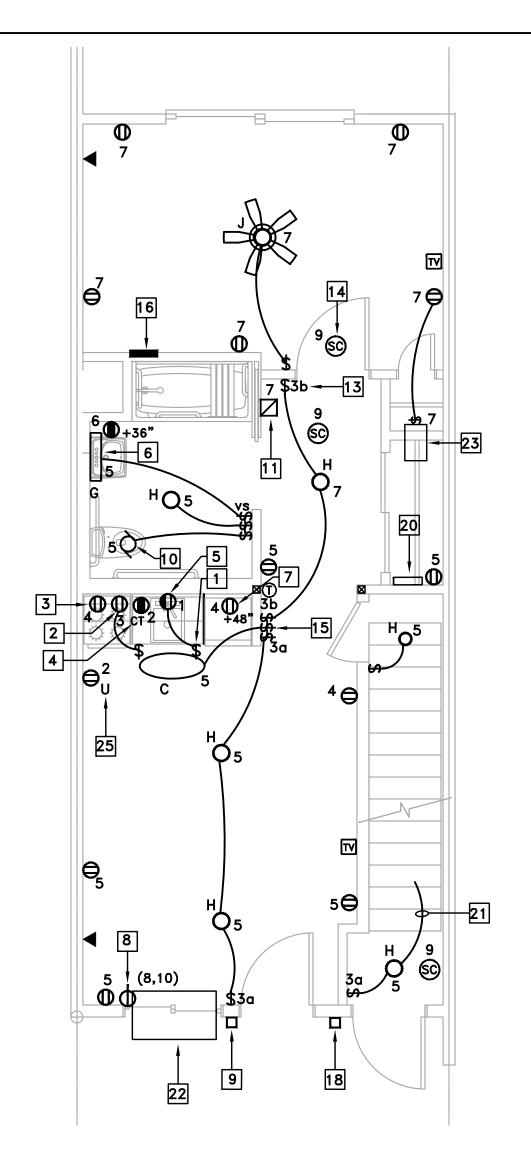
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

BUILDING EXTERIOR LIGHTING AND ROOF PLAN

E-2.1

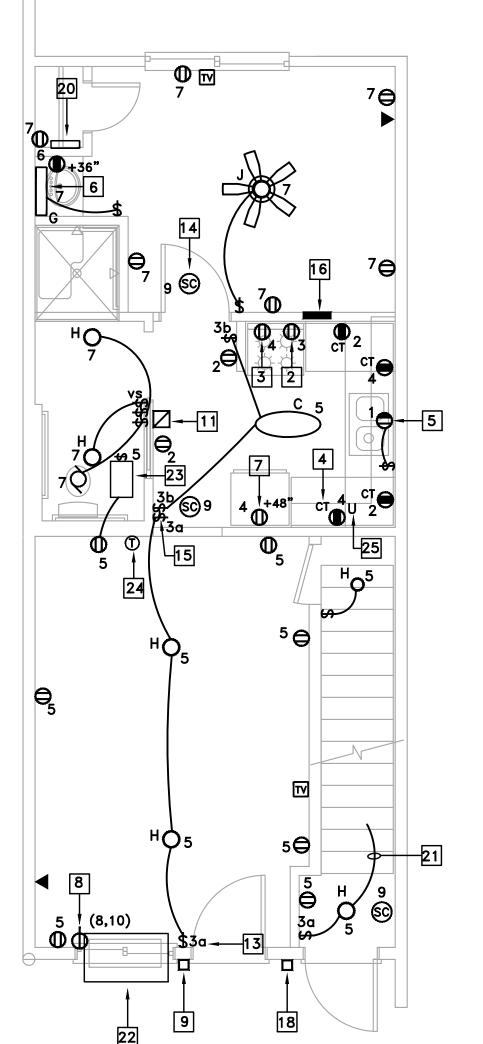


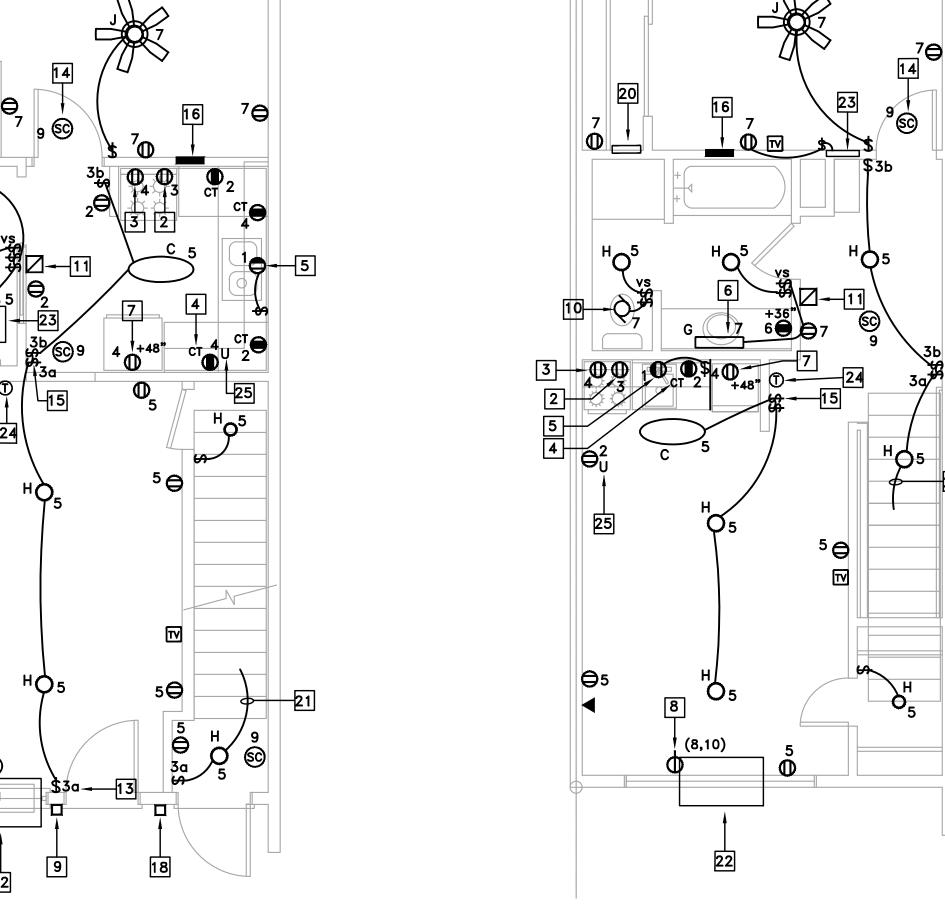
### FIRST FLOOR ACCESSIBLE UNIT ELECTRICAL PLAN /1E-3.0 ` SCALE: 1/4" = 1'-0"

E-3.0

Unit load calculation

General	Unit	Watts/unit	Total watts
Unit sf	573	3	1719
small appliance circuits	2	1500	3000
Sub-total			4719
Demand factor per NEC	code sectio	n 220.82	
First 3000 VA at 100%			3000
Remainder load at 35%	1719	x 0.35	602
sub-total			3602
Appliance load	Unit	Watts/unit	Total watts
garbage disposal	1	900	900
Miscellaneous fans	1	400	400
sub-total			1300
plus 100% AC load			
A/C	1	2752	2752
sub-total			2752
Total unit wattage			7654
Total Amps			32





FIRST FLOOR NORMAL UNIT ELECTRICAL PLAN SCALE: 1/4" = 1'-0"

/2E-3.0

E-3.0

SECOND FLOOR NORMAL UNIT ELECTRICAL PLAN /3E-3.0SCALE: 1/4" = 1'-0"\E−3.0

ALL 125V, 15 AND 20A RECEPTACLES IN DWELLING UNITS SHALL BE TAMPER RESISTANT PER CEC ARTICLE 406-11

ALL SWITCHES CONTROLLING LED LIGHT FIXTURES, SHALL BE DIMMER TYPE, EXCEPT WHEN VACANCY SENSOR IS SPECIFIED OR LESS THAN 70sf CLOSET

VOLTS PHASE			UNIT PANEL									MOUNT <u>RECESSED</u> MAIN M.L.O.						
WIRES			14.25" WIDE CABINET 24 CIRCUITS, 10,000 AIC RATING							BUS RATING 125A								
	REMARKS		WATTS	ည	ဌ	MISC	MPS	SEE	NOT	E 2.	PS	ပ္တု	ပ္ပ	ပ္	LOAD		REMARKS	
		ØA	øΒ	-	2	Σ						፮	~		ØA	øВ		
	E DISPOSAL	900		$\vdash$				7			${} \rightarrow$	$\dashv$	4	4	1500		KITCHEN CIRCUIT	
BUILT-II			300			$\vdash$		3 -^-			$\rightarrow$	4	4	4		1500	KITCHEN CIRCUIT	
	L POWER/LIGHTING	847					-	5 ~			$\boldsymbol{\vdash}$	_	4	4	180		BATHROOM OUTLET	
	L POWER/LIGHTING		848				-	7-^-		1	${} ightarrow$	4	4	$\perp$		1376	1 TON PTEK	
ELECTRI	C SMOKE DETECTOR	200					15	•~	╫	<del>ا</del> 10	15	$\perp$	$\perp$		1376			
SPACE								11-^-	₩	<b>12</b>							SPACE	
SPACE								13-^-	₩	<b>1</b> 4							SPACE	
SPACE								15-^-	₩	<b>∼</b> 16							SPACE	
SPACE								17-^	₩	<b>∼</b> 18		П	П	П			SPACE	
SPACE								19-^-	₩	<b>^</b> _20	П		T	П			SPACE	
SPACE								21-^-	₩	<b>^</b> 22	П	T	Ī				SPACE	
SPACE								23-^-	Ц	<b>^</b> 24	П	寸	T	┪			SPACE	
				П										┪				
1 POLE 1 POLE 2 POLE 2 POLE 3 POLE 4 SEING LOCKED IN OPEN POSITION. 2 ALL C/B RATINGS ARE 20A. UNLESS NOTED OTHERWISE 4 ALL MECHANICAL EQUIPMENTS SHALL BE TYPE HACR BREAKERS  ** ALL MECHANICAL EQUIPMENTS SHALL BE TYPE HACR BREAKERS																		

\*\*: REQUIRES AFCI BREAKERS PROTECTION PER KEY 12

### KEY NOTES FOR ALL UNITS

- FOR ADA UNITS, SEE ARCH. PLANS, THE HOOD EXHAUST FAN ABOVE ELECTRIC OVEN, SHALL BE CONTROLLED BY A DEDICATED SWITCH INSTALLED NEAR RANGE, AND AT HEIGHT AND LOCATION PER ADA
- OUTLET FOR KITCHEN EXHAUST FAN. INSTALL WITHIN A CABINET ABOVE GAS COOKTOP ABOVE GAS COOKTOP
- 3 OUTLET FOR GAS OVEN INSTALLED ABOUT 12" AFF PER MANUFACTURER
- GFI OUTLETS FOR COUNTER TOP. "CT" INDICATES COUNTER TOP. INSTALL ABOUT +8" ABOVE COUNTER HORIZONTALLY. SEE ARCHITECTURE
- OUTLET FOR GARBAGE DISPOSAL AND CONTROLLED BY SWITCH
- LED BATHROOM VANITY FIXTURES, ALIGN FIXTURE TO CENTER LINE OF VANITY. (TYP)
- OUTLET FOR REFRIGERATOR
- WALL MOUNT OUTLET, 240V, 15A/2P WITH GROUND TO MATCH PTEK POWER CORD, NEMA 6-15R, 250V RATED. (TYP)
- 9 PUSH BUTTON FOR DOOR CHIMES LOWER LEVEL
- EXHAUST FAN TIED TO LIGHT FIXTURE, AND CONNECTED PER MECHANICAL DRAWINGS
- DOOR CHIMES WITH TRANSFORMER. INSTALL ALL NEEDED WIRES BETWEEN EXTERIOR PUSH BUTTON AND CHIMES. CONNECT CHIMES' TRANSFORMER TO NEARBY OUTLET.
- INSTALL LISTED ARCH-FAULT CIRCUIT INTERRUPTERS FOR ALL CIRCUITS AS REQUIRED PER CEC CODE 210.12, FOR OUTLETS SUCH AS RECEPTACLES, LIGHTS, SMOKE DETECTORS, ETC.. IN DWELLING UNITS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOM, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY, KITCHEN OR SIMILAR ROOMS,
- 13 INSTALL WIRES TO PERFORM 3 WAY SWITCHES CONTROL. (TYP.)
- HARD WIRED 120V ELECTRICALLY CONNECTED COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE ALARM. ELECTRICALLY CONNECT ALL SMOKE/CO COMBO TOGETHER WITHIN SAME UNIT, PER CODE. (TYP). TYPE OF SMOKE/CO ALARM IS KIDDE MODEL NO KN-COPE-I, PART NO 21007624 WITH BATTERY BACK UP PER CODE. (TYP) SEE NOTE 2 ON UNITS' NOTES FOR APPLICABLE ADA REQUIREMENTS. IF ONE COMBO SMOKE DETECTOR/CO ACTIVATES, ALL DETECTORS WITHIN UNIT ACTIVATES INSTALL SMOKE/COMBO MINIMUM 3' AWAY FROM AC DIFFUSER, MINIMUM 3' FROM EDGE OF FAN BLADE, AND MNIMUM 3' FROM OPENING OR DOOR OF BATHROOM WITH SHOWER OR BATHTUP WHERE APPLICABLE. DEVICE SHALL BE AUDIBLE AND VOICE ACTIVATED THAT CLEARLY DISTINGUISH SMOKE FROM CARBON MONOXIDE.
- ALL SWITCHES SHALL BE INSTALLED IN SAME GANG BOX AS REQUIRED
- PANELBOARD FOR CORRESPONDING UNIT FRONT, FLUSH MOUNT.
- NAME PLATE OF PANEL SHALL BE THE SAME AS OF THE UNIT NUMBER. SEE ARCHITECTURE PLANS FOR UNIT NUMBER
- 18 PUSH BUTTON FOR DOOR CHIMES UPPER LEVEL
- [19] ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPERATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES SHALL BE SEALED WITH 1/8" RESILIENT SEALANT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION
- MEDIA BOX, 14"Wx24"L DIGITAL NETWORKING SOLUTIONS (DNS), WHICH HOUSES TELEPHONE / CATV SYSTEM.
  - TERMINATE THE UNIT INCOMING TELEPHONE WIRING FROM MAIN BUILDING UTILITY ROOM, INTO DNS TELEPHONE PORT. ALL UNITS TELEPHONE WIRING SHALL BE RUN FROM TELEPHONE JACK DIRECTLY TO DNS IN PARALLEL INSTALLATION. NO LOOPING IS ALLOWED. TERMINATE VILLA UNIT CAT 5e (WHITE) IN APPROPRIATE PORTS AND PUNCHED DOWN.
  - TERMINATE THE UNIT INCOMING RG6 CABLE WIRING FROM MAIN BUILDING UTILITY ROOM, INTO DNS CABLE PORT OF MINIMUM 4 WAY SPLITTER, THEN FEED EACH VILLA UNIT CABLE TV.
- INSTALL 3 WAY WIRING BETWEEN FIRST AND SECOND FLOOR
- PTEK WITH 2.4KW HEATER ELEMENT, 240V, 15A/2P CORD, FLA OF 2752W
- TAF PER MECHANICAL PLANS, 120V, WITH 120V SWITCH AS A DISCONNECTING MEANS
- THERMOSTAT PER MECHANICAL PLANS
- U: INDICATES OUTLET WITH USB CONNECTIONS. (TYP)

CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK ALL EXISTING CONDITIONS, AND INCLUDE IN THEIR BID ALL WORK THAT NEED TO BE REMOVED TO ALLOW INSTALLATION SHOWN ON THIS PROJECT. ALL MATERIALS SHALL BE NEW

FOR ONLY WITHIN UNITS, AND FOR ALL CIRCUIT BREAKERS RATED 15A, CONTRACTOR MAY USE NO 14 GAGE WIRES, AND USE OUTLETS RATED FOR 15A

THE SPECIFIED PANELBOARD WITH 125A BUSSING AND 24 CIRCUITS ARE "SQUARE D" TYPE LOAD CENTER WITH LUGS RATED WIRE |SIZE OF #4-2/0

ALL "SQUARE D" PANELBOARDS' LUGS ARE RATED FOR 75° WIRES

ALL WIRES SHALL INCLUDE GROUND

WIRE PER CODE

CONTRACTOR SHALL USE ROMEX FOR UNITS' INTERNAL WIRING PER CODE

SEE ARCHITECTURE PLANS FOR QUANTITY OF THIS UNIT TYPE PER THIS DESIGN SHEET.

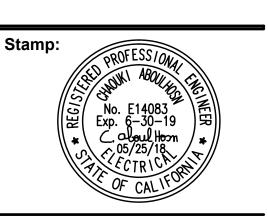
BASIS & Consulting

**2130 FOURTH ST** SAN RAFAEL, CA 94901 PHONE (415) 457-6035 FAX (415) 457-6036

P.O.BOX 150539 SAN RAFAEL, CA 94915

CHARLES PICK, ARCHITECT





DRAWING DEVISION LOG

DRAWING REVISION LOG						
SUBMITTAL	12/12/17					
PLAN CHECK RE-SUBMITTAL	04/16/2018					
PLAN CHECK RE-SUBMITTAL	05/03/2018					
FOR BID	05/25/2018					

PROJECT NAME:

**GOLDEN APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

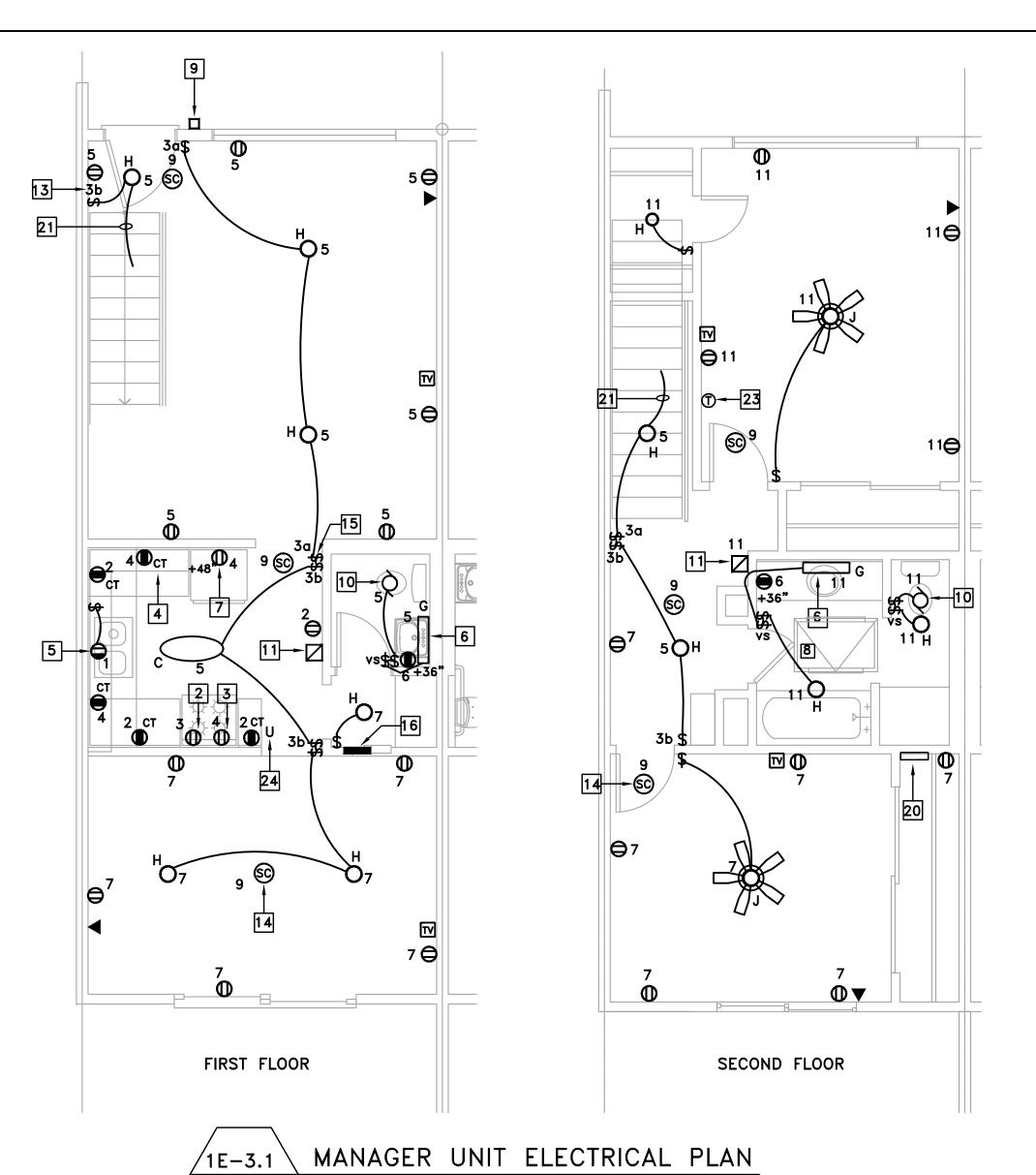
PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

ELECTRICAL UNITS **PLAN** 

E-3.0



SCALE: 1/4" = 1'-0"

12361

52

ALL 125V, 15 AND 20A RECEPTACLES IN DWELLING UNITS SHALL BE TAMPER RESISTANT PER CEC ARTICLE 406-11

ALL SWITCHES CONTROLLING LED LIGHT FIXTURES, SHALL BE DIMMER TYPE, EXCEPT WHEN VACANCY SENSOR IS SPECIFIED OR LESS THAN 70sf CLOSET

FOR ONLY WITHIN UNITS, AND FOR ALL CIRCUIT BREAKERS RATED 15A, CONTRACTOR MAY USE NO 14 GAGE WIRES, AND USE OUTLETS RATED FOR 15A

THE SPECIFIED PANELBOARD WITH 125A
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TYPE LOAD CENTER WITH LUGS RATED WIRE
SIZE OF #4-2/0

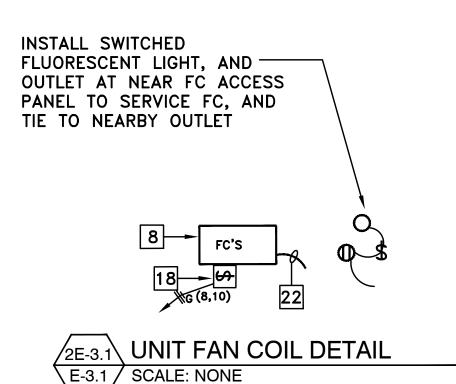
ALL WIRES SHALL INCLUDE GROUND WIRE PER CODE

ALL "SQUARE D" PANELBOARDS' LUGS ARE RATED FOR 75° WIRES

SEE ARCHITECTURE PLANS FOR QUANTITY OF THIS UNIT TYPE PER THIS DESIGN SHEET.

CONTRACTOR SHALL USE ROMEX FOR UNITS' INTERNAL WIRING PER CODE

CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK ALL EXISTING CONDITIONS, AND INCLUDE IN THEIR BID ALL WORK THAT NEED TO BE REMOVED TO ALLOW INSTALLATION SHOWN ON THIS PROJECT. ALL MATERIALS SHALL BE NEW



Unit mana	ger load calcula	ation		
General		Unit	Watts/unit	Total watts
Unit sf		1186	3	3558
small appli	ance circuits	2	1500	3000
Sub-total				6558
Demand fa	actor per NEC o	ode section	n 220.82	
First 3000	VA at 100%			3000
Remainde	load at 35%	3558	x 0.35	1245
sub-total				4245
Appliance	load	Unit	Watts/unit	Total watts
garbage d	isposal	1	900	900
Miscellane	ous fans	1	400	400
sub-total				1300
plus 100%	AC load			
A/C		1	3168	3168
Fan coil		1	3648	3648
sub-total				6816

E-3.1

	VOLTS 120/240V PHASE 1			17	_						GER	P.	ANE	EL	(MN) —		MOUNT RECESSED MAIN M.L.O.	
	WIRES 3		14.25 24 C		:UIT	rs,	10	,00	0	AIC							BUS RATING 125A	
	REMARKS	LOAD ØA	WATTS ØB	길	REC	MISC	AMPS	SEE	NO.	TE 2	AMPS	MISC	REC	빍	LOAD '	WATTS ØB	REMARKS	
	GARBAGE DISPOSAL	900									² 20		T		1500		KITCHEN CIRCUIT	٦,
	BUILT-IN FAN		300			П	15	3 -^-	╫	<u>~</u> ,	120					1500	KITCHEN CIRCUIT	٦,
	GENERAL POWER/LIGHTING	847				П	15	5 ~	╁	~,	• 20		┪	┪	180		BATHROOM OUTLET	┨
	GENERAL POWER/LIGHTING		848				15	7-^	₩	<u>ተ</u>	<b>2</b> 0					1824	FAN COIL WITH 3 KW HEATER	╗
	ELECTRIC SMOKE DETECTOR	200				П	15	•~	₩	┸	• <u>20</u>				1824		J.	
	GENERAL POWER/LIGHTING		848				15	11-^	╫		² 25					1584	2 TON ROOF CU	╡
	SPACE					П		13-^	₩	┸	<b>4</b> 25		T	╛	1584		J.	╛
	SPACE					П		15-^	╫	<b>~</b> ₁	•						SPACE	┨
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Γ	SPACE							23-^	Ц	2	4		T				SPACE	٦
Γ								1										┨
	↑ 1 POLE NOTE: 1. ALL CIRCUIT B BEING LOCKED 2. ALL C/B RATII	IN OF	PEN PO	DSIT	10I'	١.					THE	RWI	SE				UNIT LOAD CALCULATIONS THIS SHEET	

\*\*: REQUIRES AFCI BREAKERS PROTECTION PER KEY 12

### KEY NOTES FOR ALL UNITS

- FOR ADA UNITS, SEE ARCH. PLANS, THE HOOD EXHAUST FAN ABOVE ELECTRIC OVEN, SHALL BE CONTROLLED BY A DEDICATED SWITCH INSTALLED NEAR RANGE, AND AT HEIGHT AND LOCATION PER ADA
- OUTLET FOR KITCHEN EXHAUST FAN. INSTALL WITHIN A CABINET ABOVE GAS COOKTOP
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- 7 OUTLET FOR REFRIGERATOR
- 8 FAN COIL UNIT IN ATTIC PER MECHANICAL DRAWINGS, AND DET. 2E-3.1
- 9 PUSH BUTTON FOR DOOR CHIMES LOWER LEVEL
- EXHAUST FAN TIED TO LIGHT FIXTURE, AND CONNECTED PER MECHANICAL DRAWINGS
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- NUMBER. SEE ARCHITECTURE PLANS FOR UNIT NUMBER
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- 21 INSTALL 3 WAY WIRING BETWEEN FIRST AND SECOND FLOOR
- 1/2"C WITH A/C CONTROL WIRES BETWEEN FC UNITS AND COMPRESSORS' UNIT
- 23 THERMOSTAT PER MECHANICAL PLANS
- U: INDICATES OUTLET WITH USB CONNECTIONS. (TYP)

BASIS & Consulting

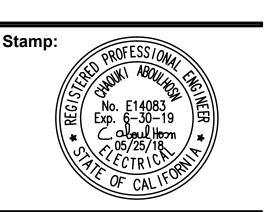
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DRAWING REVISION LOG

DRAWING REVISION LOG						
SUBMITTAL	12/12/17					
PLAN CHECK RE-SUBMITTAL	04/16/2018					
PLAN CHECK RE-SUBMITTAL	05/03/2018					
FOR BID	05/25/2018					

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

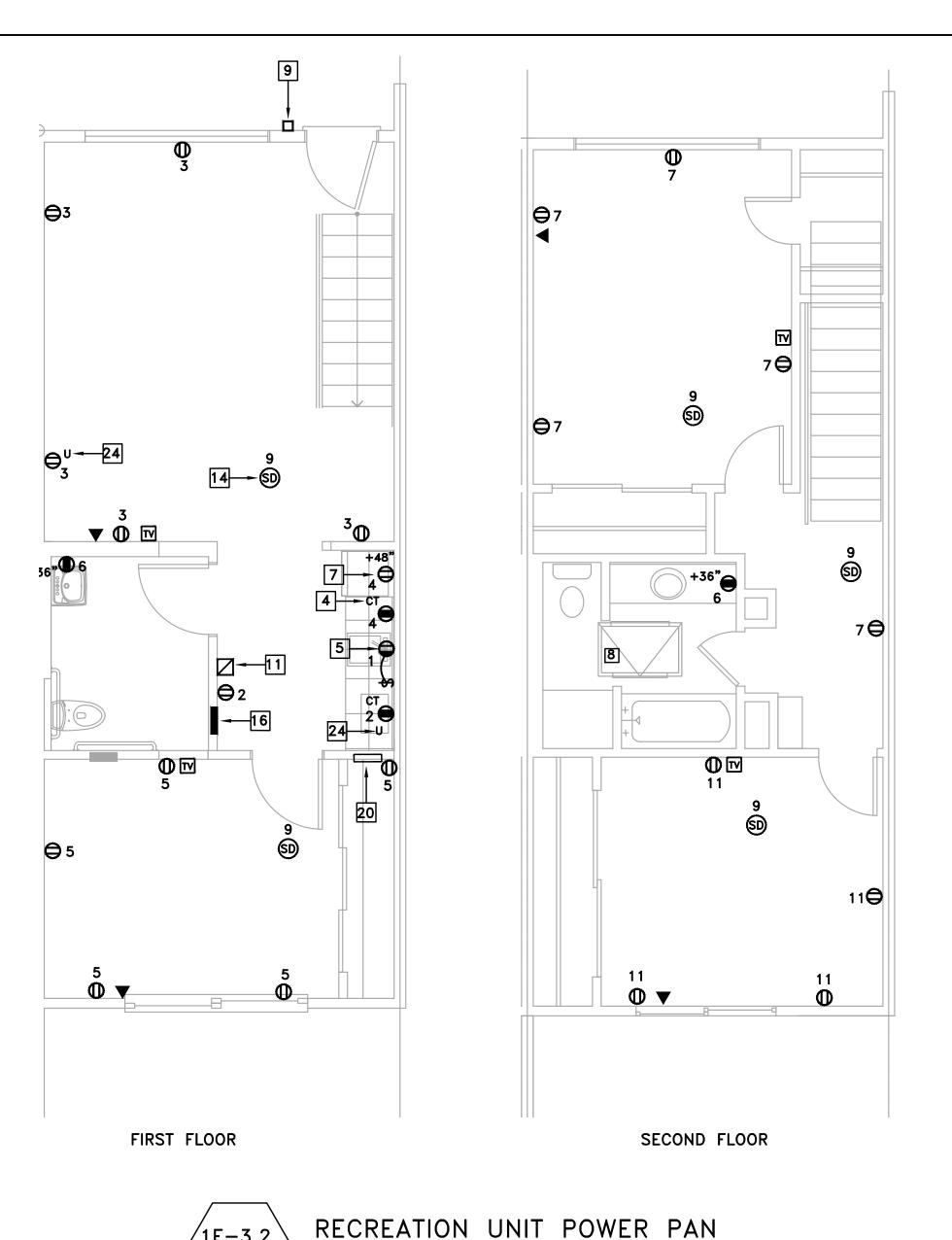
SHEET TITLE:

ELECTRICAL MANAGER UNIT PLAN

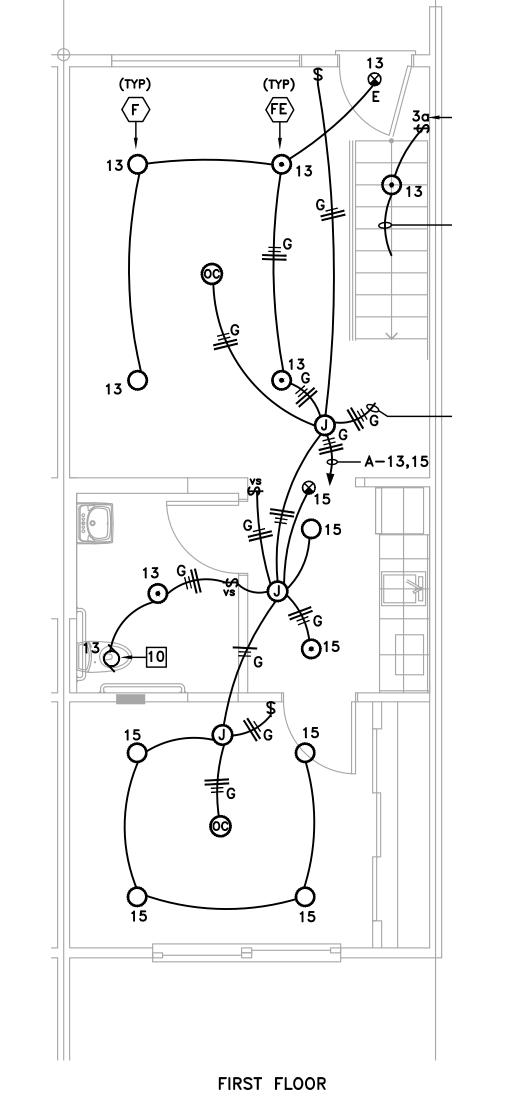
E-3.1

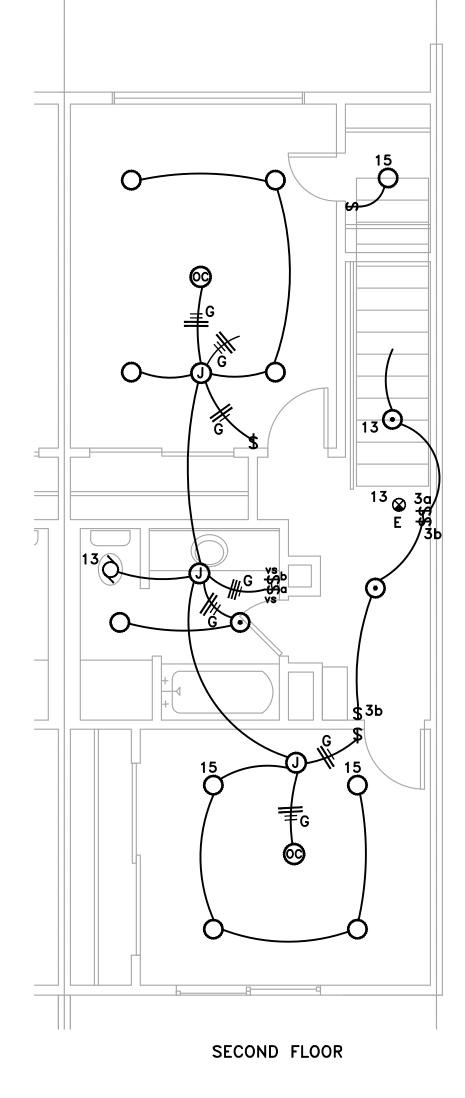
Total unit wattage

Total Amps



SCALE: 1/4" = 1'-0"





/2E-3.2

RECREATION UNIT LIGHTING PAN SCALE: 1/4" = 1'-0"

PHASE 1 WIRES 3		14.25 24 C							RA	TIN		_			MAIN M.L.O.  BUS RATING 125A
REMARKS	LOAD ØA	WATTS	LTG			SEE					בן עב בן בר	LOAI	D WA	TTS ØB	REMARKS
GARBAGE DISPOSAL	900	ם ש	H	+		7 - ~				<u>-</u>	+	1500	-	סש	KITCHEN CIRCUIT
FIRST FLOOR OUTLET	300	900	H	$\dashv$	-	) 2 3			-	+	+	1300		500	
FIRST FLOOR OUTLET	900		H	┪	_	5 ) 5 -^	- 1 1		$\rightarrow$	$\dashv$	+	180	<del>-   `</del>	300	BATHROOM OUTLET
SECOND FLOOR OUTLET		900	$\sqcap$	$\dashv$	-	7~	- 1 1		$\rightarrow$	十	$\top$	† · · · ·		824	
ELECTRIC SMOKE DETECTOR	200		П	寸	-				$\rightarrow$	1	T	182	4		.].
SECOND FLOOR OUTLET		900	П	T	_	) 11-^			$\rightarrow$	十	$\top$		1	584	2 TON ROOF CU
FIRST/SECOND FLOOR LIGHT	ING 430		П	ヿ	20	) 13-^	4	┸	25	$\top$	T	158	-		J.
FIRST/SECOND FLOOR LIGHT	ING	430	П	一	20	) 15~	4	~10	·П		T				SPACE
SPACE			П	T		17-^	+	<b>~</b> ₁0	·П						SPACE
SPACE			П	T		19-^	4	- <b>^</b> -20	·П		T				SPACE
SPACE			П	T		21-^	4	22	·III						SPACE
SPACE				T		25_^	Щ	24	·П						SPACE
	2430	3130										508	8 49	908	
↑ 1 POLE NOTE: 1. ALL CIRC BEING LO 2. ALL C/B *: ALL MECH	CKED IN OF RATINGS A	PEN PO RE 204	SITI A. U	NLI	ESS	тои	ΈD	01						AC TC	JB-TOTAL = 15,556W DD 25% LCL: 860 x 0.25 = 215W DD 25% MOTOR: 2764x0.25 = 691W DTAL: 16,462W R 68.5A AT 240V, 1 PH,

\*\*: REQUIRES AFCI BREAKERS PROTECTION PER KEY 12

### KEY NOTES FOR ALL UNITS

- FOR ADA UNITS, SEE ARCH. PLANS, THE HOOD EXHAUST FAN ABOVE ELECTRIC OVEN, SHALL BE CONTROLLED BY A DEDICATED SWITCH INSTALLED NEAR RANGE, AND AT HEIGHT AND LOCATION PER ADA
- OUTLET FOR KITCHEN EXHAUST FAN. INSTALL WITHIN A CABINET ABOVE GAS COOKTOP
- 3 OUTLET FOR GAS OVEN INSTALLED ABOUT 12" AFF PER MANUFACTURER
- GFI OUTLETS FOR COUNTER TOP. "CT" INDICATES COUNTER TOP. INSTALL ABOUT +8" ABOVE COUNTER HORIZONTALLY. SEE ARCHITECTURE
- OUTLET FOR GARBAGE DISPOSAL AND CONTROLLED BY SWITCH
- LED BATHROOM VANITY FIXTURES, ALIGN FIXTURE TO CENTER LINE OF VANITY. (TYP)
- 7 OUTLET FOR REFRIGERATOR
- 8 FAN COIL UNIT IN ATTIC PER MECHANICAL DRAWINGS, AND DET. 2E-3.1
- PUSH BUTTON FOR DOOR CHIMES LOWER LEVEL
- EXHAUST FAN TIED TO LIGHT FIXTURE, AND CONNECTED PER MECHANICAL DRAWINGS
- DOOR CHIMES WITH TRANSFORMER. INSTALL ALL NEEDED WIRES BETWEEN EXTERIOR PUSH BUTTON AND CHIMES. CONNECT CHIMES' TRANSFORMER TO NEARBY OUTLET.
- INSTALL LISTED ARCH-FAULT CIRCUIT INTERRUPTERS FOR ALL CIRCUITS AS REQUIRED PER CEC CODE 210.12, FOR OUTLETS SUCH AS RECEPTACLES, LIGHTS, SMOKE DETECTORS, ETC.. IN DWELLING UNITS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOM, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY, KITCHEN OR SIMILAR ROOMS,
- 13 INSTALL WIRES TO PERFORM 3 WAY SWITCHES CONTROL. (TYP.)
- 14 HARD WIRED 120V ELECTRICALLY CONNECTED COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE ALARM. ELECTRICALLY CONNECT ALL SMOKE/CO COMBO TOGETHER WITHIN SAME UNIT, PER CODE. (TYP). TYPE OF SMOKE/CO ALARM IS KIDDE MODEL NO KN-COPE-I, PART NO 21007624 WITH BATTERY BACK UP PER CODE. (TYP) SEE NOTE 2 ON UNITS' NOTES FOR APPLICABLE ADA REQUIREMENTS. IF ONE COMBO SMOKE DETECTOR/CO ACTIVATES, ALL DETECTORS WITHIN UNIT ACTIVATES INSTALL SMOKE/COMBO MINIMUM 3' AWAY FROM AC DIFFUSER, AND MINIMUM 3' FROM EDGE OF FAN BLADE WHERE APPLICABLE. DEVICE SHALL BE AUDIBLE AND VOICE ACTIVATED THAT CLEARLY DISTINGUISH SMOKE FROM CARBON MONOXIDE.
- ALL SWITCHES SHALL BE INSTALLED IN SAME GANG BOX AS REQUIRED
- PANELBOARD FOR CORRESPONDING UNIT FRONT, FLUSH MOUNT.
- NAME PLATE OF PANEL SHALL BE ITIL SAME AND NUMBER. SEE ARCHITECTURE PLANS FOR UNIT NUMBER NAME PLATE OF PANEL SHALL BE THE SAME AS OF THE UNIT
- 240V, 1HP RATED MOTOR SWITCH, INSTALL CLOSE TO DOOR TO SERVE AS A DISCONNECTING MEANS FOR FC. SWITCH TO BE LOCKABLE
- ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPERATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES SHALL BE SEALED WITH 1/8" RESILIENT SEALANT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION
- MEDIA BOX, 14"Wx24"L DIGITAL NETWORKING SOLUTIONS (DNS), WHICH HOUSES TELEPHONE / CATV SYSTEM.
  - TERMINATE THE UNIT INCOMING TELEPHONE WIRING FROM MAIN BUILDING UTILITY ROOM, INTO DNS TELEPHONE PORT. ALL UNITS TELEPHONE WIRING SHALL BE RUN FROM TELEPHONE JACK DIRECTLY TO DNS IN PARALLEL INSTALLATION. NO LOOPING IS ALLOWED. TERMINATE VILLA UNIT CAT 5e (WHITE) IN APPROPRIATE PORTS AND PUNCHED DOWN.
  - TERMINATE THE UNIT INCOMING RG6 CABLE WIRING FROM MAIN BUILDING UTILITY ROOM, INTO DNS CABLE PORT OF MINIMUM 4 WAY SPLITTER, THEN FEED EACH VILLA UNIT CABLE TV.
- INSTALL 3 WAY WIRING BETWEEN FIRST AND SECOND FLOOR
- 22 1/2"C WITH A/C CONTROL WIRES BETWEEN FC UNITS AND COMPRESSORS' UNIT
- THERMOSTAT PER MECHANICAL PLANS
- U: INDICATES OUTLET WITH USB CONNECTIONS. (TYP)

CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK ALL EXISTING CONDITIONS, AND INCLUDE IN THEIR BID ALL WORK THAT NEED TO BE REMOVED TO ALLOW INSTALLATION SHOWN ON THIS PROJECT. ALL MATERIALS SHALL BE NEW

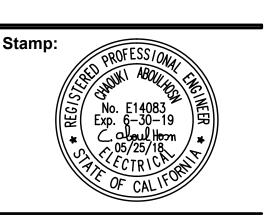
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CHARLES PICK, ARCHITECT





DRAWING REVISION LOG

12/12/17
04/16/2018
05/03/2018
05/25/2018

PROJECT NAME:

**GOLDEN APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

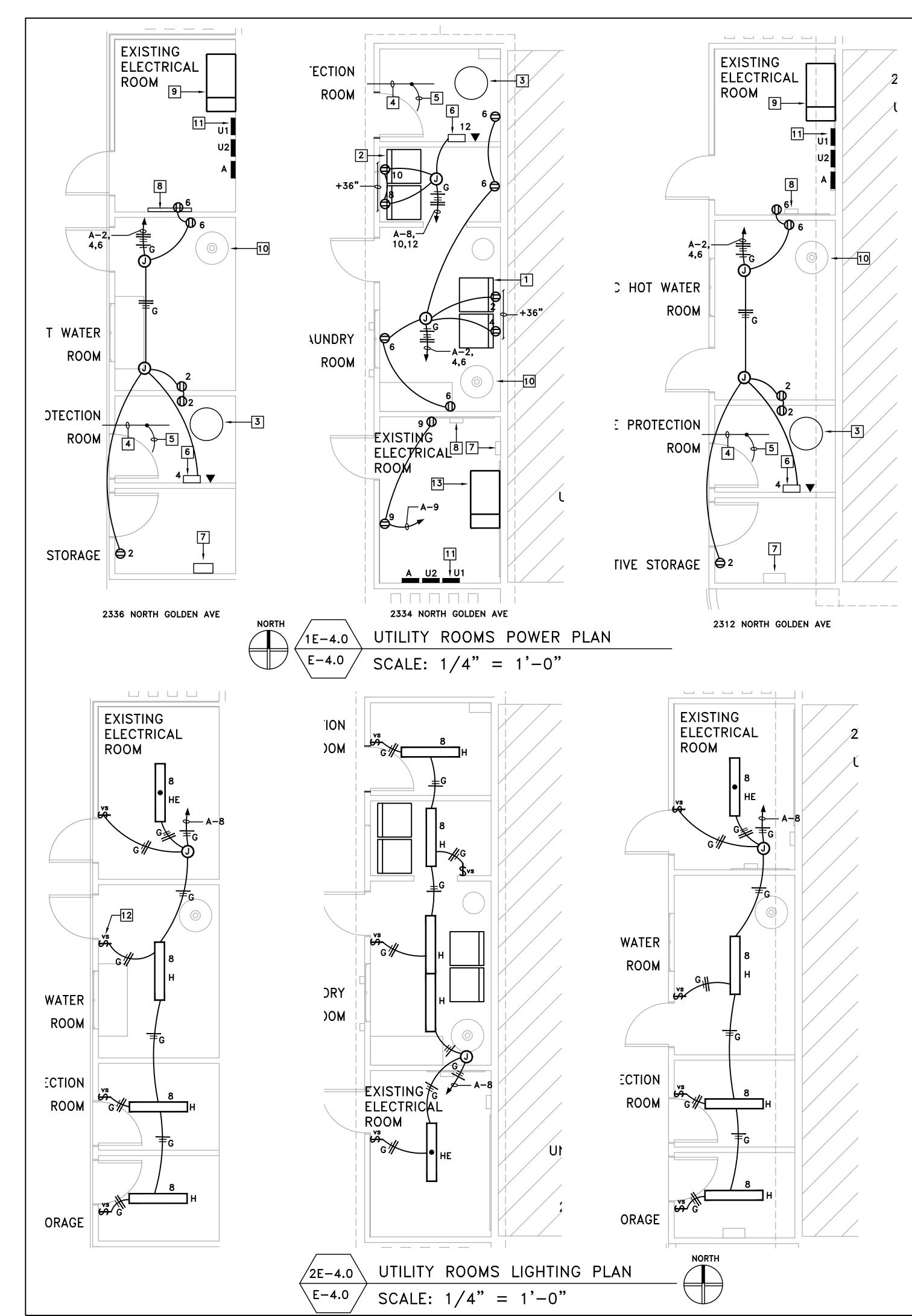
PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

ELECTRICAL RECREATION UNIT PLAN

1E-3.2



#### APPLICABLE TO 2336/2312 NORTH GOLDEN AVE

DEMARKS	LOAD	WATTS	ပြ	ပ	ပ္ကု	က္ခ	OFF 11	ATE A	ဂ္ဂ	ပ္က	ن ان	LOAD	WATTS	DEMARKS
REMARKS	ØΑ	øΒ	בון	RE	W	A	SEE N	OTE 2	AMI	×	捌	øΑ	øΒ	REMARKS
BLDG EXTERIOR LIGHTING	230		7			20	1~	1~2	20		3	540		STORAGE OUTLET
BLDG EXTERIOR LIGHTING		230	7			20	3~	┿╌╻	20				400	FIRE ALARM
ENTRANCE GATE	960					20	5~h	┼∼╺	20		2	360		UTILITY
CAR PORT		180	5			20	7~	<del>╽</del> ╲╺	20		4		140	STORAGE
SPACE							•~	┼∼┅						SPACE
SPACE							<b>"</b> ~∤	<del>↓</del> ∼₁₂						SPACE
SPACE							13~	┼∼┅						SPACE
SPACE							15-7-	┿∼┅						SPACE
SPACE							17-7-	┼∼┅						SPACE
SPACE							19-7-	<b>-</b> ∤-^-20						SPACE
SPACE							21-^-	<b>-</b>  -^-22						SPACE
SPACE							23~	<b>↓</b> ~24						SPACE
	1190	410										900	540	
1 POLE NOTE:  1. ALL CIRCUIT B BEING LOCKED 2. ALL C/B RATII *: ALL MECHANICA	IN OF	PEN PO	NSIT N. L	JNL	۷. ES:	S I	NOTE	D 01					Al Al	UB-TOTAL = 3,040W DD 25% LCL: 780 x 0.25 = 195W DD 25% MOTOR: 960x0.25 = 240W DTAL: 3,475W

### APPLICABLE TO 2334 NORTH GOLDEN AVE

PHASE 1 3		14.25 24 C							_	- MAIN M.L.O. BUS RATING 125A						
REMARKS	LOAD	WATTS	LTG REC MISC		ည္တုပ္ရ	2 ,	PEE N	ATE 2	S	ပ္က	ပ	ပ	LOAD '	WATTS	REMARKS	
REMARKS	ØA	øΒ	ᄓ	RE							RE	ᄓ	ØΑ	øΒ	l K	
BLDG EXTERIOR LIGHTING	230		7		2	20	1~	╀╱┇	20		1		1200		LAUNDRY	
BLDG EXTERIOR LIGHTING		230	7		2	20	₃∽┼	╁╲╺	20		1			1200	LAUNDRY	
ENTRANCE GATE	960				2	20	₅∽╁	╆╱╺	20		4		720		UTILITY	
CAR PORT		180	5		2	20	ァ∽┼	<del>╽</del> へ╻	20		1			1200	LAUNDRY	
STORAGE	360			2	2	20	∙∼╁	╀∼┅	20		1		1200		LAUNDRY	
SPACE						7	┅╱┼	┿┸┅	20					400	FIRE ALARI	vi
SPACE							13-~-	╀∼┅							SPACE	
SPACE						7	ι₅∽┼	┿╌┉							SPACE	
SPACE						7	17-^-	╀∼┅							SPACE	
SPACE						Π,	•-~-	<b>├</b> ~20				T			SPACE	
SPACE						<u>ا</u>	21-^-	<b>-</b>  -^-22				T			SPACE	
SPACE						٦,	╍┸	<u></u> ↓∼₂₄							SPACE	
	1550	410											3120	2800		
1 POLE NOTE: 1. ALL CIRCUIT B BEING LOCKED 2. ALL C/B RATIN *: ALL MECHANICA	IN OF	PEN PORE 20A	SIT V. L	ION JNL	1. .ESS	N	IOTE	D 01						AI AI TO		780 x 0.25 = 195W PR: 960x0.25 = 240W

**KEY NOTES:** 

- 1 ELECTRIC WASHER. (TYP)
- 2 GAS DRYER (TYP)
- 3 PROPOSED LOCATION OF MAIN FIRE SPRINKLER RISER
- PROPOSED MAIN INCOMING FIRE SPRINKLER WATER LINE
- 5 1"C WITH 1#1/0 GND TO MAIN BUILDING ELECTRODE SYSTEM
- 6 FIRE ALARM PANEL FOR SPRINKLER SYSTEM ANNUNCIATION
- EXISTING MAIN CABLE SERVICE TO BE REMOVED AND REPLACED WITH NEW BIGGER PULL BOX TO ACCOMMODATE FOR ALL BUILDING UNITS CABLE NEEDS WITH ALL NEW SPLITTERS, CABLE WIRES AND ALL NECESSARY HARDWARE. EXISTING MAIN OVERHEAD CABLE TO REMAIN INTACT
- EXISTING MAIN TELEPHONE SERVICE TO BE REMOVED AND REPLACED WITH NEW 3/4"x4'wx8'H FIRE RATED PLYWOOD, AND TERMINATING THE MAIN INCOMING 50 PAIRS OVERHEAD WIRE INTO NEW TERMINALL 66 BLOCK PER TELEPHONE COMPANY TO ACCOMMODATE FOR ALL BUILDING UNITS TELEPHONE NEEDS WITH ALL NEW EQUIPMENT, TELEPHONE WIRES AND ALL NECESSARY HARDWARE. EXISTING MAIN OVERHEAD TELEPHONE CABLE TO REMAIN INTACT
- 9 REMOVE ALL EXISTING ELECTRICAL SERVICE WITH ALL METERS, CONDUIT AND WIRES AND EX. HOUSE PANEL WITH ALL CONDUIT AND WIRES, AND INSTALL NEW ELECTRICAL SERVICE, PER DWG E-5.0, AND DET. 1E-1.1
- 10 WATER HEATER PER PLUMBING PLANS
- 11 NEW BUILDING PANEL SURFACE MOUNT. SEE DWG E-5.0/E-5.1
- SINGLE SWITCH VACANCY SENSOR, MANUAL ON/AUTO OFF, "LUTRON" CAT NO MS-VPS2 RATED FOR 240W, AND 15-20' LINE OF SIGHT COVERAGE. (TYP)
- REMOVE ALL EXISTING ELECTRICAL SERVICE WITH ALL METERS, CONDUIT AND WIRES AND EX. HOUSE PANEL WITH ALL CONDUIT AND WIRES, AND INSTALL NEW ELECTRICAL SERVICE, PER DWG E-5.1, AND DET. 1E-1.1

CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK ALL EXISTING CONDITIONS, AND INCLUDE IN THEIR BID ALL WORK THAT NEED TO BE REMOVED TO ALLOW INSTALLATION SHOWN ON THIS PROJECT. ALL MATERIALS SHALL BE NEW

1/2"C-2#10 ---AND 1#10 GND 50' MINIMUM 1 YEAR\_ OF PROGRAMMING  $\overline{\hspace{1em} heta}$  Photocell (TM)CKT NO A-9 -----MAIN LIGHT CONTROL. BLDG CKT NO A-1,3 AS **EXTERIOR** SHOWN ON DWG E-2.0/E-2.1 BLDG CKT NO A-7 AS CAR PORCH LIGHTING SHOWN ON DWG E-2.0/E-2.1

- MAIN LIGHTING CONTROL PANEL, 4 RELAYS, RATED 120/240V, 20A, "COOPER LIGHTING"
  LITEKEEPER CAT# "LK4-120-NO (4) RELAYS. THIS CONTAINS (1) CIRCUITRY BOARD OF 4 RELAYS,
  9.5"Hx14"Wx3.25"D.
- THE EXACT TIMING OF TURNING ON LIGHTS SHALL BE PER OWNER.
- TEST THE SYSTEM FOR SUCCESSFUL OPERATION AND PROVIDE TRAINING TO OWNER.
- INSTALL PHOTOCELL TO SUIT FIELD CONDITIONS AND PER OWNER REQUIREMENTS
- MAIN LIGHTING CONTROL SHALL COMPLY WITH 2016 TITLE 24 MANDATORY REQUIREMENT AND IS PROGRAMMED AUTOMATICALLY TO TURN OFF DURING DAYLIGHT HOURS, AND HAVE BUILT—IN CAPABILITIES FOR SUNRISE AND SUNSET TIMING.



MAIN APARTMENT EXTERIOR LIGHTING CONTROL PANEL

SCALE: NONE

BASIS & Consulting

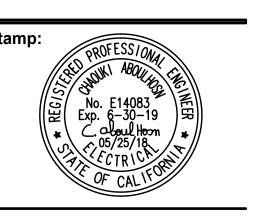
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DRAWING REVISION LOG

BIO WING REVISION	
SUBMITTAL	12/12/17
PLAN CHECK RE-SUBMITTAL	04/16/2018
PLAN CHECK RE-SUBMITTAL	05/03/2018
FOR BID	05/25/2018

PROJECT NAME:

GOLDEN APARTMENTS

CONVERSION OF TOWNHOMES TO FLAT UNIT APARTMENTS

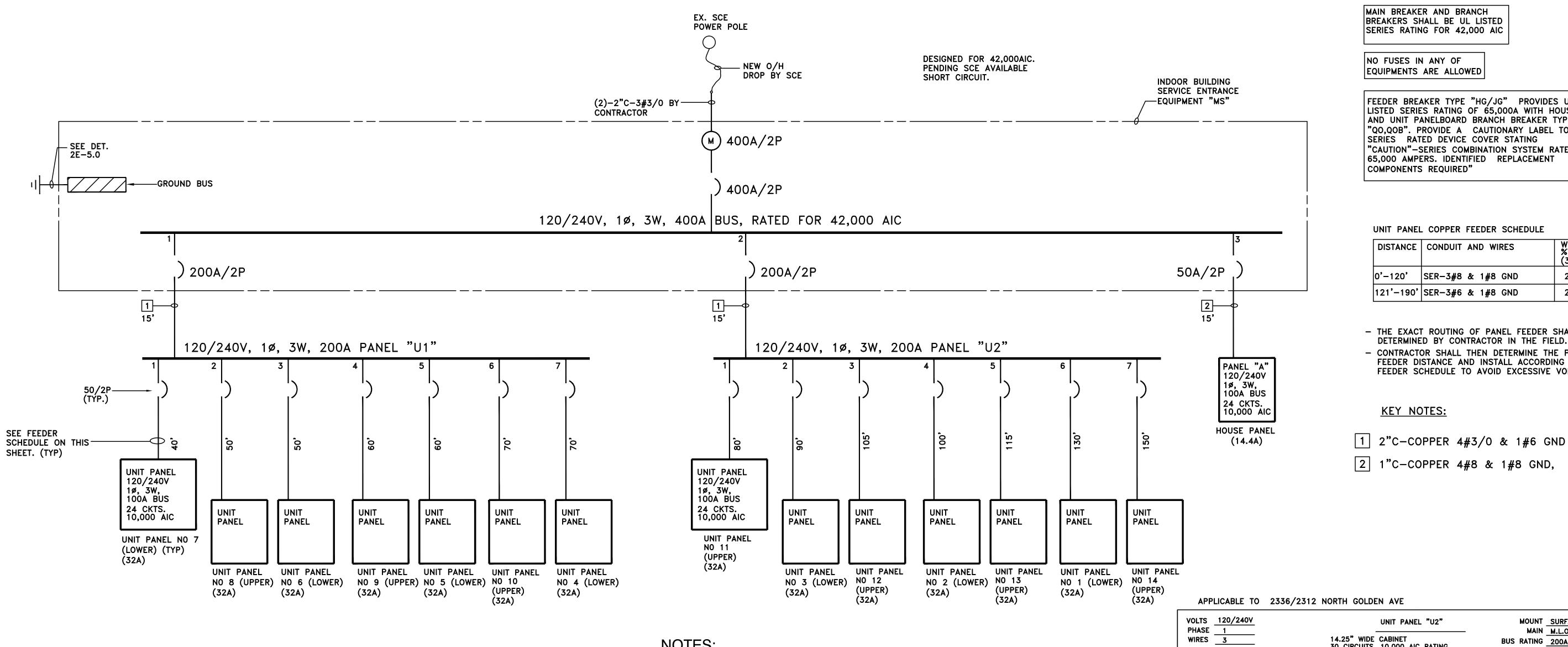
PROJECT LOCATION:

2312 N. GOLDEN AVE.
SAN BERNARDINO
CALIFORNIA 92404
APN: 0155-183-27-0000

SHEET TITLE:

UTILITY AND LAUNDRY ELECTRICAL PLAN

E-4.0



### **NOTES:**

BUILDING MAIN LOAD CALCULATIONS

Demand factor per NEC code section 220.82

Demand factor of 75% for appliances 220.53

Unit

Watts/unit Total watts

Watts/unit Total watts

900

2752

1500

8400

64200 x 0.35

25200

42000

67200

3000

22470

25470

12600

2800

15400

11550

38528

3456

79004

329

(14) Unit load calculation

small appliance circuits

First 3000 VA at 100%

Remainder load at 35%

General

Unit sf

Sub-total

sub-total

sub-total

A/C

sub-total

house load

Total Amps

Total unit wattage

Appliance load

garbage disposal

Miscellaneous fans

plus 100% AC load

Watts/unit Total watts

Watts/unit Total watts

200

2752

1500

14400

21000

35400

3000

11340

14340

6300

1400

7700

5775

19264

19264

39379

4800

14

32400 x 0.35

- ALL PRODUCTS ARE DESIGNED BASED ON "SQUARE D"
- MAIN BREAKERS OF "MS" SHALL BE THERMAL- MAGNETIC TYPE LA, RATED FOR 42,000 AIC AT 240V. BRANCH BREAKERS FOR "MS", CKTS NO 1 AND 2 SHALL BE TYPE "JG" RATED FOR 65,000 AIC AT 240V. AND CKT NO 3 SHALL BE TYPE HG RATED FOR 65,000 AIC AT 240V
- ALL HOUSE AND UNIT PANELBOARDS SHALL BE TYPE "NOOD" WITH BREAKERS TYPE "QO,QOB" RATED AT 10,000 AIC. DOWNSTREAM PANELBOARDS "NOOD" PROVIDES UL LISTED SERIES RATING OF 65,000 AIC WITH FEEDER TYPE "HG/JG"
- DISTANCES OF CONDUIT SHOWN ARE APPROXIMATE AND ONLY FOR BUILDING AND SAFETY PLAN CHECK PURPOSES. CONTRACTOR SHALL DETERMINE LENGTH OF CONDUIT AND WIRES PER PLAN.

2312 N. GOLDEN BUILDING, 14 UNITS ONE LINE DIAGRAM; 2336 N. GOLDEN BUILDING, 14 UNITS ONE LINE DIAGRAM 1E-5.0

SCALE: NONE

**√** E−5.0 SCALE: NONE

1"C- 1#1/0 GND TO	- INSTALL BUILD	ING GROUND	G OF THE BUILDIN ING ELECTRODE S ON SHALL BE 1"(	SYSTEM PER CODE
EX. MAIN DOMESTIC WATER LINE WITHIN 5' OF ENTRANCE. WATER LINE IN FRONT OF BLDG	-	<u>-</u>	TO EX. BUILDIN ELECTRODE SYSTEM	G
	11 7 2			-TO GROUND SWITCHBOARD BUS "MS"
NEW 10' GROUND — ROD PER CODE		,	— BUILDING GROUNDING BU	S
1"C- 1#1/0 GNI TO FIRE SPRINKLI MAIN WATER LINE	:R =	<del>.</del>		
2E-5.0 MAI	N BUILDING	ELECTR	RODE SYSTE	М

FEEDER BREAKER TYPE "HG/JG" PROVIDES UL LISTED SERIES RATING OF 65,000A WITH HOUSE AND UNIT PANELBOARD BRANCH BREAKER TYPE "QO,QOB". PROVIDE A CAUTIONARY LABEL TO THE "CAUTION"-SERIES COMBINATION SYSTEM RATED

DISTANCE	CONDUIT AND WIRES	WORST   %VD.   (35A)
0'-120'	SER-3#8 & 1#8 GND	2.8%
121'-190'	SER-3#6 & 1#8 GND	2.8%

- THE EXACT ROUTING OF PANEL FEEDER SHALL BE
- CONTRACTOR SHALL THEN DETERMINE THE PANEL FEEDER DISTANCE AND INSTALL ACCORDING TO ABOVE FEEDER SCHEDULE TO AVOID EXCESSIVE VOLTAGE DROP

VOLTS 120/240V					U	NIT	PAI	NEL	. "U	2"					SURFACE		
PHASE 1		_ 22			_							_			M.L.O.		
WIRES 3	14.2 30							AIC	RA	TING	;		1	BUS RATING			
REMARKS	LOAD WATTS	LOAD WATTS 6		ပ္က	S	CEE	NATI		ကျွ	ပ္ကုင	2 6	LOAD	WATTS	DEMARKS			
REMARKS	øA øB	בר	湿	Ξ	¥	SEE	NUII	E Z.	MA :		<u> </u>	ØΑ	øΒ	REMARKS			
UNIT PANEL NO 11	3840				50	1 ↑	+	<u>ጉ 2</u>	50			3840		UNIT PANE	L NO 13		
	3840				50	ړ∡ ا∡ک	╁	Ļ₄	50				3840				
UNIT PANEL NO 3	3840				50	▗▗	╁┼	<b>ጉ</b> •	50			3840		UNIT PANE	L NO 1		
	3840				50	┍	╁	<b>人</b> 8	50				3840				
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	3840				50	<b>₩</b>	╁	ل <sub>-12</sub>	50				3840				
UNIT PANEL NO 2	3840				50	13	╁┼	<b>~</b> 14						SPACE			
	3840				50	15-	╁	<b>∩</b> -16						SPACE			
SPACE						]17-^-	╁┼	<b>~</b> 18						SPACE			
SPACE						19-^-	╁	<b>^</b> -20						SPACE			
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SPACE						23-^-	Щ	<b>^-24</b>						SPACE			

1. ALL CIRCUIT BREAKER SHALL BE CAPABLE OF BEING LOCKED IN OPEN POSITION.

2. ALL C/B RATINGS ARE 20A. UNLESS NOTED OTHERWISE

\*: ALL MECHANICAL EQUIPMENTS SHALL BE TYPE HACR BREAKERS

SEE LOAD CALCULATION FOR 7 UNITS ON THIS SHEET

APPLICABLE TO 2336/2312 NORTH GOLDEN AVE

VOLTS 120/240V PHASE 1						UI	NIT	P	ANE	L "	U1	29				M	TAUOI MAIN			
WIRES 3		14.25 30 C								C R	ATI	NG		_	ı	BUS R	ATING			
DEMARKS	LOAD WATTS (		ပ	ပ	ပ္က	PS	CEE	NA	TF (	<u>၂</u> ဇ	ပ္ကြ	ပြ	ပ	LOAD	WATTS	DEMARKS				
REMARKS	ØA	øΒ	ᄓ	R	Ξ̈́	AM	)   	NU	IE 4	AMPS	≝	씸	듸	ØΑ	øΒ		KL	MARI	MARKS	
UNIT PANEL NO 7	3840									² 50				3840		UNIT	PANEI	, NO	5	
		3840				50	<sup>لر</sup> ₃	Ж	$\perp$	<b>4</b> 50		П			3840					
UNIT PANEL NO 8	3840					50	s-₁	4	1	• 50		П		3840		UNIT	PANEI	, NO	10	
		3840				50	╻╸┸	Ж	$\perp$	• 50		П			3840					
UNIT PANEL NO 6	3840					50	│• -₁	4	-^-¹	• <b>5</b> 0		П		3840		UNIT	PANEI	, NO	4	
		3840				50	│ <sub>┛┩</sub> ┸┵	Ж	┸	<sup>2</sup> 50		П			3840					
UNIT PANEL NO 9	3840					50	13-7	4	~1	₄┌╴		П				SPAC	E			
		3840				50	15_J	Ж	<b>~</b> ₁	•		П				SPAC	E			
SPACE							17-^	4	٠-	•						SPAC	E			
SPACE							19-^	4	~;	:o		П				SPAC	E			
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										•					540					

1. ALL CIRCUIT BREAKER SHALL BE CAPABLE OF BEING LOCKED IN OPEN POSITION.

2. ALL C/B RATINGS ARE 20A. UNLESS NOTED OTHERWISE

SEE LOAD CALCULATION FOR 7 UNITS ON THIS SHEET \*: ALL MECHANICAL EQUIPMENTS SHALL BE TYPE HACR BREAKERS

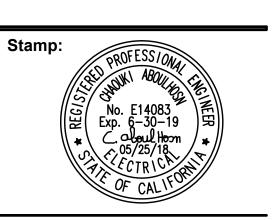
# BASIS Architecture & Consulting

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### DRAWING REVISION LOG

SUBMITTAL	12/12/17
PLAN CHECK RE-SUBMITTAL	04/16/2018
PLAN CHECK RE-SUBMITTAL	05/03/2018
FOR BID	05/25/2018

**PROJECT NAME:** 

**GOLDEN APARTMENTS** 

**CONVERSION OF** TOWNHOMES TO FLAT UNIT APARTMENTS

PROJECT LOCATION:

2312 N. GOLDEN AVE. SAN BERNARDINO CALIFORNIA 92404 APN: 0155-183-27-0000

SHEET TITLE:

ONE LINE DIAGRAM

E-5.0

TYPICAL FOR PANEL UNIT NO U1 AND U2

Demand factor per NEC code section 220.82

demand factor of 75% per NEC 220.53

(7) Unit load calculation

small appliance circuits

First 3000 VA at 100%

Remainder load at 35%

General

Unit sf

Sub-total

sub-total

sub-total

sub-total

Total Amps

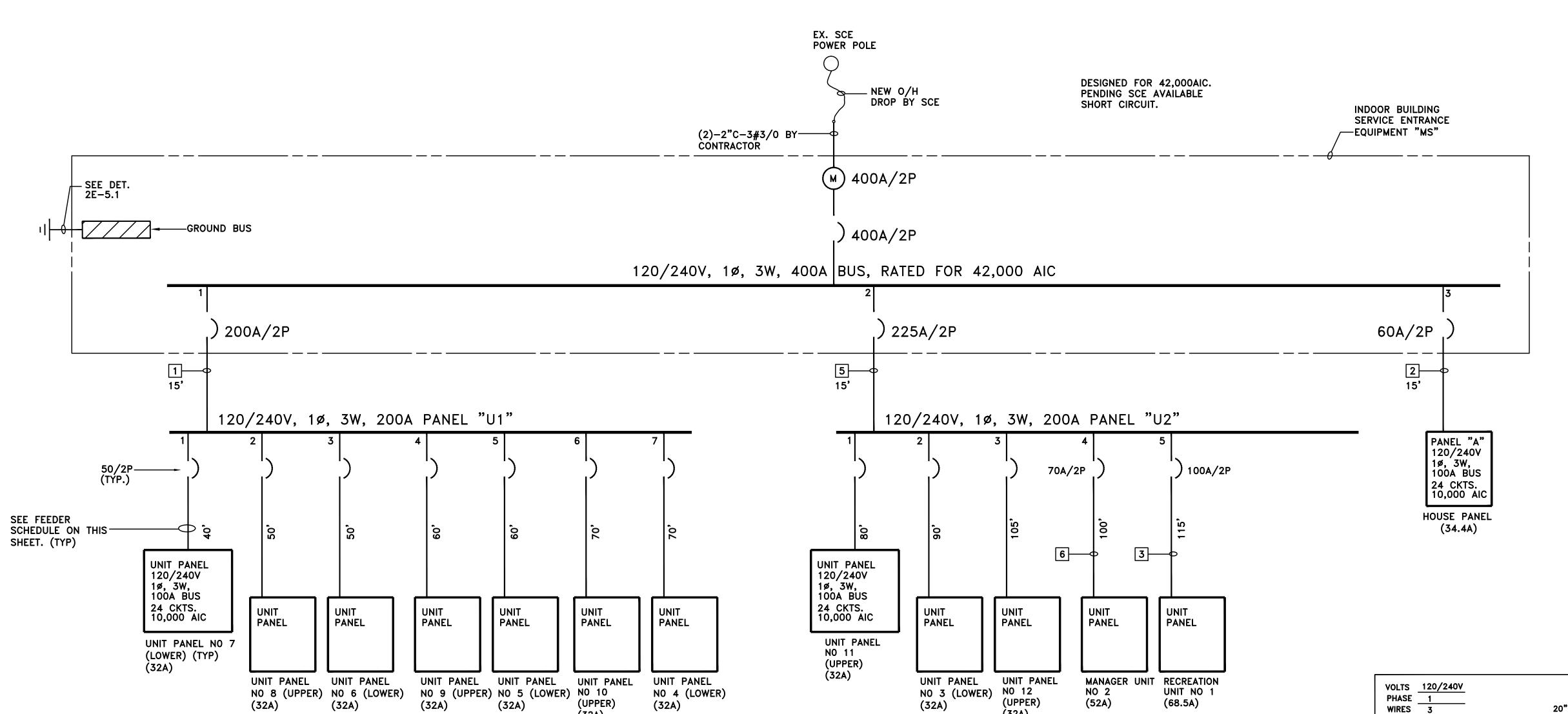
Appliance load

garbage disposal

Miscellaneous fans

plus 100% AC load

Total unit wattage



### NOTES:

E-5.1

SCALE: NONE

BUILDING MAIN LOAD CALCULATIONS

(11) Unit load calculation, house load and recreation

Demand factor per NEC code section 220.82

Demand factor of 75% for appliances 220.53

8400

22

55200 x 0.35

11

Watts/unit Total watts

Watts/unit Total watts

900

200

2752

1500

25200

33000

58200

3000

19320

22320

9900

2200

12100

9075

30272

3648

30272

24720

86387

360

General

Unit sf

Sub-total

sub-total

sub-total

A/C

fan coil

sub-total

house load

Total Amps

Total unit wattage

Appliance load

garbage disposal

Miscellaneous fans

plus 100% AC load

small appliance circuits

First 3000 VA at 100%

Remainder load at 35%

- ALL PRODUCTS ARE DESIGNED BASED ON "SQUARE D"
- MAIN BREAKERS OF "MS" SHALL BE THERMAL- MAGNETIC TYPE LA, RATED FOR 42,000 AIC AT 240V. BRANCH BREAKERS FOR "MS", CKTS NO 1 AND 2 SHALL BE TYPE "JG" RATED FOR 65,000 AIC AT 240V. AND CKT NO 3 SHALL BE TYPE HG RATED FOR 65,000 AIC AT 240V
- ALL HOUSE AND UNIT PANELBOARDS SHALL BE TYPE "NQOD" WITH BREAKERS TYPE "QO,QOB" RATED AT 10,000 AIC. DOWNSTREAM PANELBOARDS "NOOD" PROVIDES UL LISTED SERIES RATING OF 65,000 AIC WITH FEEDER TYPE "HG/JG"
- DISTANCES OF CONDUIT SHOWN ARE APPROXIMATE AND ONLY FOR BUILDING AND SAFETY PLAN CHECK PURPOSES. CONTRACTOR SHALL DETERMINE LENGTH OF CONDUIT AND WIRES PER PLAN.

2334 N. GOLDEN BUILDING, 14 UNITS ONE LINE DIAGRAM /1E-5.<sup>-</sup> \ E−5.1 SCALE: NONE

- BOND ALL METALLIC PIPING OF THE BUILDING

- INSTALL BUILDING GROUNDING ELECTRODE SYSTEM PER CODE - ALL GROUNDING CONNECTION SHALL BE 1"C- 1#1/0 GND 1"C- 1#1/0 GND TO EX. MAIN DOMESTIC TO EX. BUILDING WATER LINE WITHIN 5 **ELECTRODE** OF ENTRANCE. WATER SYSTEM LINE IN FRONT OF BLDG TO GROUND SWITCHBOARD BUS NEW 10' GROUND--BUILDING ROD PER CODE GROUNDING BUS 1"C- 1#1/0 GND TO FIRE SPRINKLER MAIN WATER LINE MAIN BUILDING ELECTRODE SYSTEM

MAIN BREAKER AND BRANCH BREAKERS SHALL BE UL LISTED SERIES RATING FOR 42,000 AIC

NO FUSES IN ANY OF EQUIPMENTS ARE ALLOWED

FEEDER BREAKER TYPE "HG/JG" PROVIDES UL LISTED SERIES RATING OF 65,000A WITH HOUSE AND UNIT PANELBOARD BRANCH BREAKER TYPE "QO,QOB". PROVIDE A CAUTIONARY LABEL TO THE SERIES RATED DEVICE COVER STATING "CAUTION"-SERIES COMBINATION SYSTEM RATED 65,000 AMPERS. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED"

### UNIT PANEL COPPER FEEDER SCHEDULE

DISTANCE	CONDUIT AND WIRES	WORST %VD. (35A)
0'-120'	SER-3#8 & 1#8 GND	2.8%
121'-190'	SER-3#6 & 1#8 GND	2.8%

- THE EXACT ROUTING OF PANEL FEEDER SHALL BE DETERMINED BY CONTRACTOR IN THE FIELD.
- CONTRACTOR SHALL THEN DETERMINE THE PANEL FEEDER DISTANCE AND INSTALL ACCORDING TO ABOVE FEEDER SCHEDULE TO AVOID EXCESSIVE VOLTAGE DROP

### **KEY NOTES:**

- 1 2"C-COPPER 3#3/0 & 1#6 GND
- 2 1"C-COPPER 3#6 & 1#8 GND,
- 3 1 1/4"C-COPPER 3#2 & 1#8 GND,
- 4 SER-3#6 COPPER & 1#8 GND
- 5 2"C-COPPER 3#4/0 & 1#4 GND
- 6 SER-3#4 COPPER & 1#8 GND

WIRES 3				CABIN			BUS RATING 225A							
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											540			

- 1. ALL CIRCUIT BREAKER SHALL BE CAPABLE OF BEING LOCKED IN OPEN POSITION.
- - 2. ALL C/B RATINGS ARE 20A. UNLESS NOTED OTHERWISE \*: ALL MECHANICAL EQUIPMENTS SHALL BE TYPE HACR BREAKERS

SEE LOAD CALCULATION FOR 4 UNITS PLUS RECREATION AREA ON THIS SHEET

### APPLICABLE TO 2334 NORTH GOLDEN AVE

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1. ALL CIRCUIT BREAKER SHALL BE CAPABLE OF BEING LOCKED IN OPEN POSITION.

2. ALL C/B RATINGS ARE 20A. UNLESS NOTED OTHERWISE SEE LOAD CALCULATION FOR 7 UNITS ON SHEET E-5.0 \*: ALL MECHANICAL EQUIPMENTS SHALL BE TYPE HACR BREAKERS

ADDED NEW SHEET

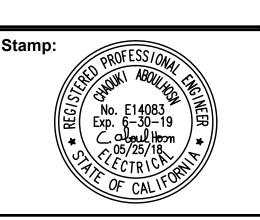
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3648

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34200 x 0.35

25200

12000

37200

3000

11970

14970

3600

800

4400

3300

11008

3648

11008

16320

45598

190