



DEVELOPMENT TEAM

APPLICANT / OWNER / DEVELOPER

JUDY DAVID
REAL ESTATE PROJECT MANAGER
HOUSING AUTHORITY OF THE COUNTY OF SAN BERNARDINO
715 E. BIER DRIVE, SAN BERNARDINO, CA 92408
PHONE: (909) 332-6317 FAX (909) 890-4618

ARCHITECT

CHARLES PICK
BASIS ARCHITECTURE AND CONSULTING INC.
2130 4TH STREET, SUITE B
(MAIL: PO BOX 150539)
SAN RAFAEL, CA 94901
PHONE: (415) 578-4865

SITE PLANNING / DESIGN / CIVIL

BRIAN BISNETT
BISNETT DESIGN ASSOCIATES
16046 BEAR COURT
GRASS VALLEY, CA 95949
PHONE: (530) 277-9733

SHEET INDEX

| SHEET # | SHEET TITLE |
|---------|--|
| L-0 | COVER SHEET |
| L-1 | TOPOGRAPHIC SURVEY |
| L-2 | SITE PLAN (1/8" SCALE) |
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| L-5 | IRRIGATION PLAN |
| L-6 | IRRIGATION / PLANTING SPECIFICATIONS & DETAILS |
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PARCEL NOTES

APN 0472-181-68-0-000
FLOOD ZONE 'X' PER FEMA FIRM 06071C5820J, DATED 09-02-2016, FOR THE CITY OF VICTORVILLE, IN SAN BERNARDINO COUNTY, STATE OF CALIFORNIA.

PARCEL AREA +/- 1.34 ACRES
EXISTING IMPERVIOUS AREA +/- 1.14 ACRES
EXISTING PERVIOUS AREA +/- .20 ACRES
PROPOSED IMPERVIOUS AREA +/- .94 ACRES
PROPOSED PERVIOUS AREA +/- .40 ACRES

(35) PARKING STALLS, INCLUDING (4) HANDICAP STALLS
(31) TOTAL UNITS... (24) 1 BEDROOM, (7) EFFICIENCY APARTMENTS

GENERAL NOTES

- ALL WORKS SHALL BE DONE IN ACCORDANCE WITH THESE PLANS, SPECIAL PROVISIONS, AND LATEST VERSION OF THE CITY OF VICTORVILLE STANDARD SPECIFICATIONS FOR PUBLIC WORKS IMPROVEMENTS, CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD PLANS, AND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTIES; THAT THIS REQUIREMENT SHALL APPLY CONTINUALLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF ANY DISCREPANCIES OR UNUSUAL CONDITIONS ON THESE PLANS, THE SPECIAL PROVISIONS BEFORE BID AND AS SOON AS THEY ARE DISCOVERED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIM/HERSELF WITH THE WORK SITE AND ALL UNDERGROUND UTILITIES/FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY THE CITY OF VICTORVILLE AND OTHER PUBLIC AGENCIES.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE ANY CHANGES MADE TO THESE PLANS AND THE SPECIAL PROVISIONS WITHOUT PRIOR WRITTEN AUTHORIZATION OF THE CITY ENGINEER.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SURVEYING MONUMENTS IN PLACE, AND THE CONTRACTOR SHALL BE RESPONSIBLE FINANCIALLY FOR RESETTling DAMAGED OR DESTROYED MONUMENTS.
- JOSHUA TREES SHALL BE PROTECTED IN PLACE OR RELOCATED AS APPROVED BY THE PARK DIVISION OF THE CITY OF VICTORVILLE, COMMUNITY SERVICES DEPARTMENT AT THE CONTRACTORS EXPENSE.
- ACCESS TO ALL DRIVEWAYS SHALL BE MAINTAINED AT ALL TIMES EXCEPT WHEN PRECLUDED BY NECESSARY CONSTRUCTION FOR A REASONABLE PERIOD OF TIME AS APPROVED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN A NEAT APPEARANCE AT THE JOB SITE. THE CONTRACTOR SHALL REMOVE ALL RUBBISH, UNUSED MATERIALS, FORMS, BROKEN CONCRETE AND ASPHALT, UNUSED CONSTRUCTION EQUIPMENT, AND PLANTS AS SOON AS PRACTICABLE DURING CONSTRUCTION UNTIL FINAL ACCEPTANCE OF THE PROJECT BY THE CITY OF VICTORVILLE.
- CONSTRUCTION AND/OR MAINTENANCE OPERATIONS BY OTHERS MAY OCCUR CONCURRENTLY AT THE JOBSITE OR IN THE VICINITY OF THE JOBSITE. THE CONTRACTOR SHALL COOPERATE AND COORDINATE HIS/HER OPERATION WITH THE OTHER CREWS.

Bisnett
Design
Associates

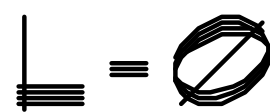
bda
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brian@bisnettdesign.com

DESERT HAVEN APARTMENTS
VICTORVILLE, CALIFORNIA

CIVIL COVER SHEET

6-21-18

DRAWING: :



LEGEND

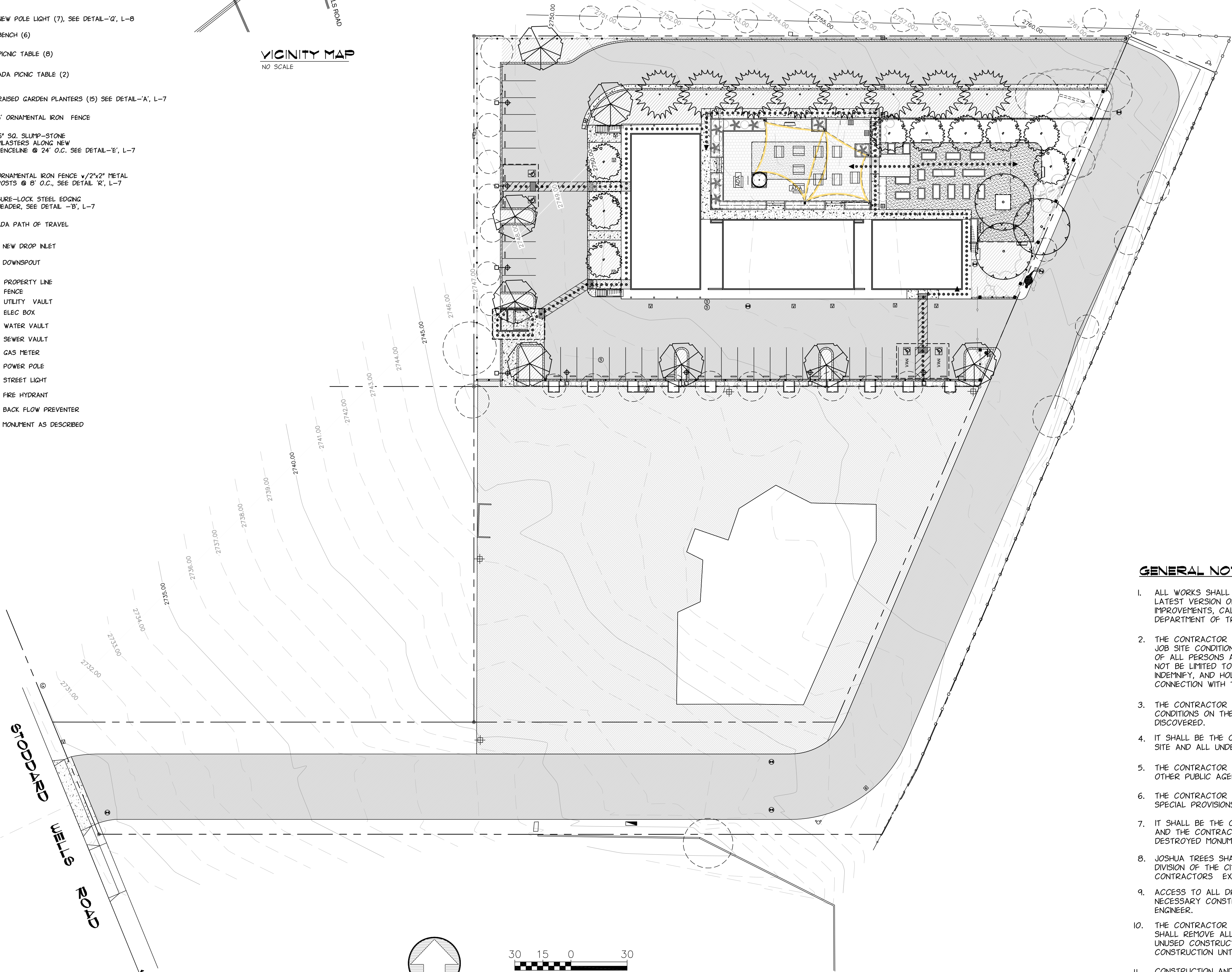
- CONCRETE PAVING (NEW), SEE DETAIL-'C', L-7
- NEW PAVERS
- NEW PERMEABLE PAVERS
- COMPACTED DECOMPOSED GRANITE, SEE NOTES L-6
- RESURFACE PAVING; PATCH REPAIR POTHOLES, SLURRY SEAL AS SHOWN IN PARKING & DRIVE AREAS
- EXISTING ASPHALT PAVING TO REMAIN
- EXISTING ASPHALT PAVING TO BE REMOVED
- NEW FLUSH CURB, SEE DETAIL-'J', L-7
- NEW RAISED CURB, SEE DETAIL-'H', L-7
- NEW POLE LIGHT (7), SEE DETAIL-'G', L-8
- BENCH (6)
- PICNIC TABLE (8)
- ADA PICNIC TABLE (2)
- RAISED GARDEN PLANTERS (15) SEE DETAIL-'A', L-7
- 6" ORNAMENTAL IRON FENCE
- 1/2" SQ. SLIMP-STONE PLASTERS ALONG NEW FENCELINE @ 24" O.C. SEE DETAIL-'E', L-7
- ORNAMENTAL IRON FENCE 1/2" 2x2" METAL POSTS @ 8' O.C., SEE DETAIL 'R', L-7
- SURE-LOCK STEEL EDGING HEADER, SEE DETAIL -'B', L-7
- ADA PATH OF TRAVEL
- NEW DROP INLET
- DOWNSPOUT
- PROPERTY LINE FENCE
- UTILITY VAULT
- ELEC BOX
- WATER VAULT
- SEWER VAULT
- GAS METER
- POWER POLE
- STREET LIGHT
- FIRE HYDRANT
- BACK FLOW PREVENTER
- MONUMENT AS DESCRIBED

VICINITY MAP
NO SCALE

DESERT HAVEN APARTMENTS
16959 STODDARD WELLS ROAD
VICTORVILLE, CA 92394

IMPROVEMENT PLANS FOR
DESERT HAVEN APARTMENTS

16959 STODDARD WELLS ROAD
VICTORVILLE, CALIFORNIA
APN 0472-181-68-0-000



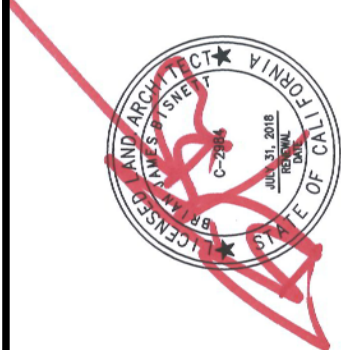
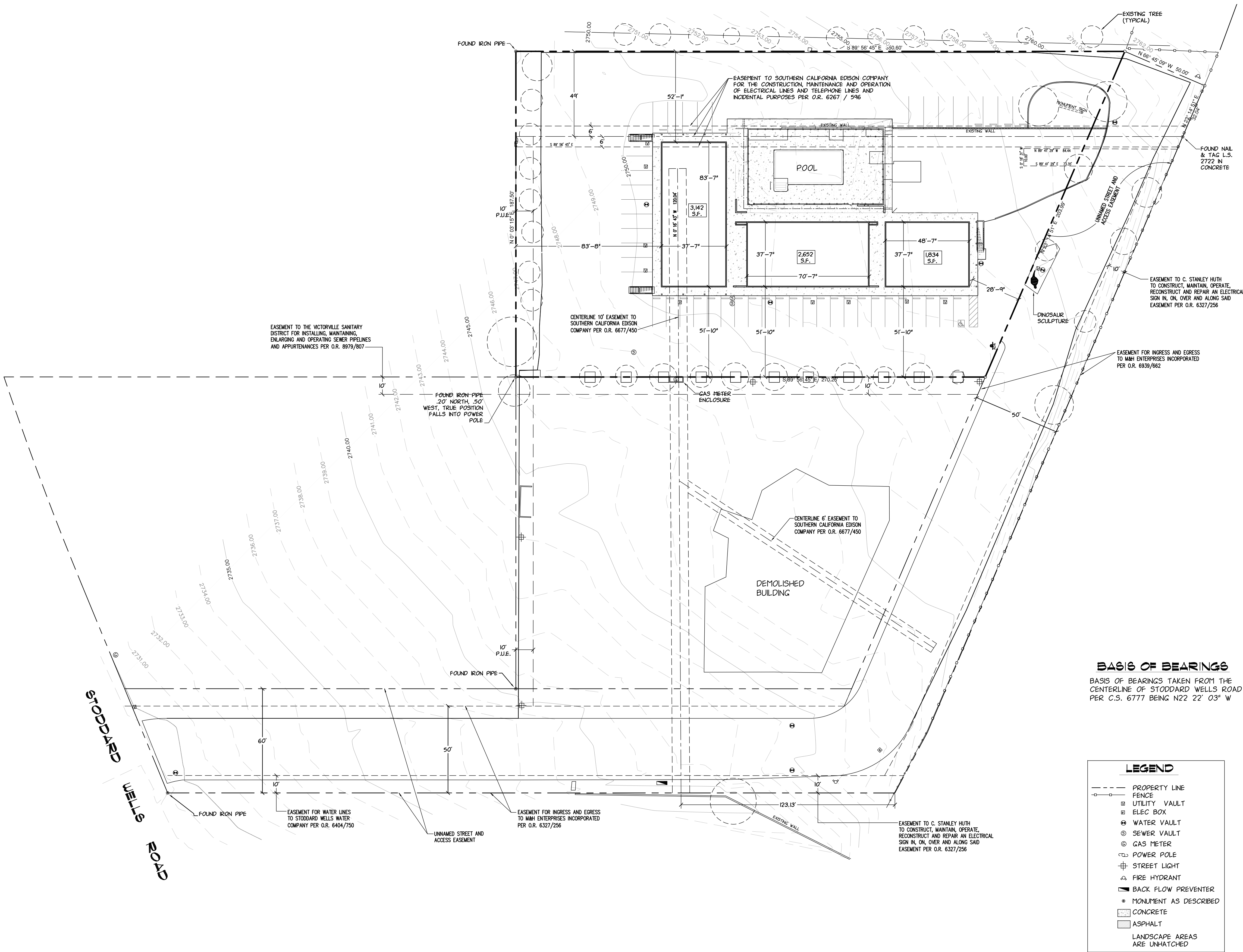
30 15 0 30
SCALE: 1"=30'
CAUTION: GRAPHIC SCALE MUST BE USED EXCEPT WHERE DIMENSIONED

SURVEYOR'S STATEMENT

- I, I FURTHER CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6a, 6b, 7a, 7b, 1, 7c, 8, 9, 11, 13, 14, 16 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 8-9-17.
2. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE PROPERTY DESCRIBED HEREIN AND THAT THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY, EXCEPT AS SHOWN HEREON.
3. THE PROPERTY DESCRIBED HEREIN IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE COMPANY ORDER NO 7101620377, DATED MARCH 20, 2017, AND THAT ALL EASEMENTS, COVENANTS, AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM PHYSICAL INSPECTION OF THE SITE OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE SUBJECT PROPERTY.
4. SAID PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'X' BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 06071C5820J, WITH A DATE OF IDENTIFICATION OF 09-02-2016, FOR THE CITY OF VICTORVILLE, IN SAN BERNARDINO COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
5. THE PROPERTY DESCRIBED HEREIN HAS ACCESS VIA EASEMENT TO STODDARD WELLS ROAD, A DEDICATED PUBLIC STREET.
6. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY DESCRIBED HEREIN IS 47, INCLUDING 1 DESIGNATED HANDICAP SPACE.
7. EXCEPT AS SHOWN HEREIN, ALL VISIBLE UTILITIES SERVING THE PROPERTY DESCRIBED HEREIN ENTER THROUGH ADJOINING PUBLIC STREETS AND/ OR EASEMENTS OF RECORD.
8. THERE ARE NO OBSERVABLE ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS ON THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS ON ADJOINING PROPERTIES, STREETS, OR ALLEYS UPON THE SUBJECT PROPERTY.
9. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS UPON THE SUBJECT PROPERTY.
10. ACCORDING TO LOCAL AGENCY THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION REPAIRS.
11. THERE IS NO OBSERVABLE EVIDENCE THAT THE SUBJECT PROPERTY IS OR HAS BEEN USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
12. THERE IS NO OBSERVABLE EVIDENCE THAT THERE ARE ANY CEMETERIES OR FAMILY BURIAL SITES ON SUBJECT PROPERTY.
13. THERE IS NO EVIDENCE OF RECORD THAT THERE ARE ANY GAPS OR GORES ON THE SUBJECT PROPERTY.
14. PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000.00 IS IN EFFECT THROUGHOUT THE SURVEY TERM.
15. THERE IS NO OBSERVABLE EVIDENCE OF ANY CREEKS, STREAMS, RIVERS, LAKES, PONDS, WATERWAYS OR WETLANDS ON SUBJECT PROPERTY.



SURVEYOR
REGISTRATION NO. _____
DATE: _____
JOB NO.
CALIFORNIA SURVEY CO.
136 IDAHO MARYLAND RD.
GRASS VALLEY, CA 95945
TELE (530) 273-6651



| NO. | DATE | ISSUED FOR | BY |
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| 1 | 4-17-18 | FOR REVIEW | |

| | |
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| NOTE | 0 1/2 1 |
| SCALE: BAR SHOULD MEASURE 1" OR DRAWING IS NOT TO SCALE | |
| DESIGNED: JCS | |
| DRAWN: JCS | |
| CHECKED: JCS | |
| APPROVED: JCS | |
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| LAST EDIT DATE: | |

Bisnett Design Associates

bda

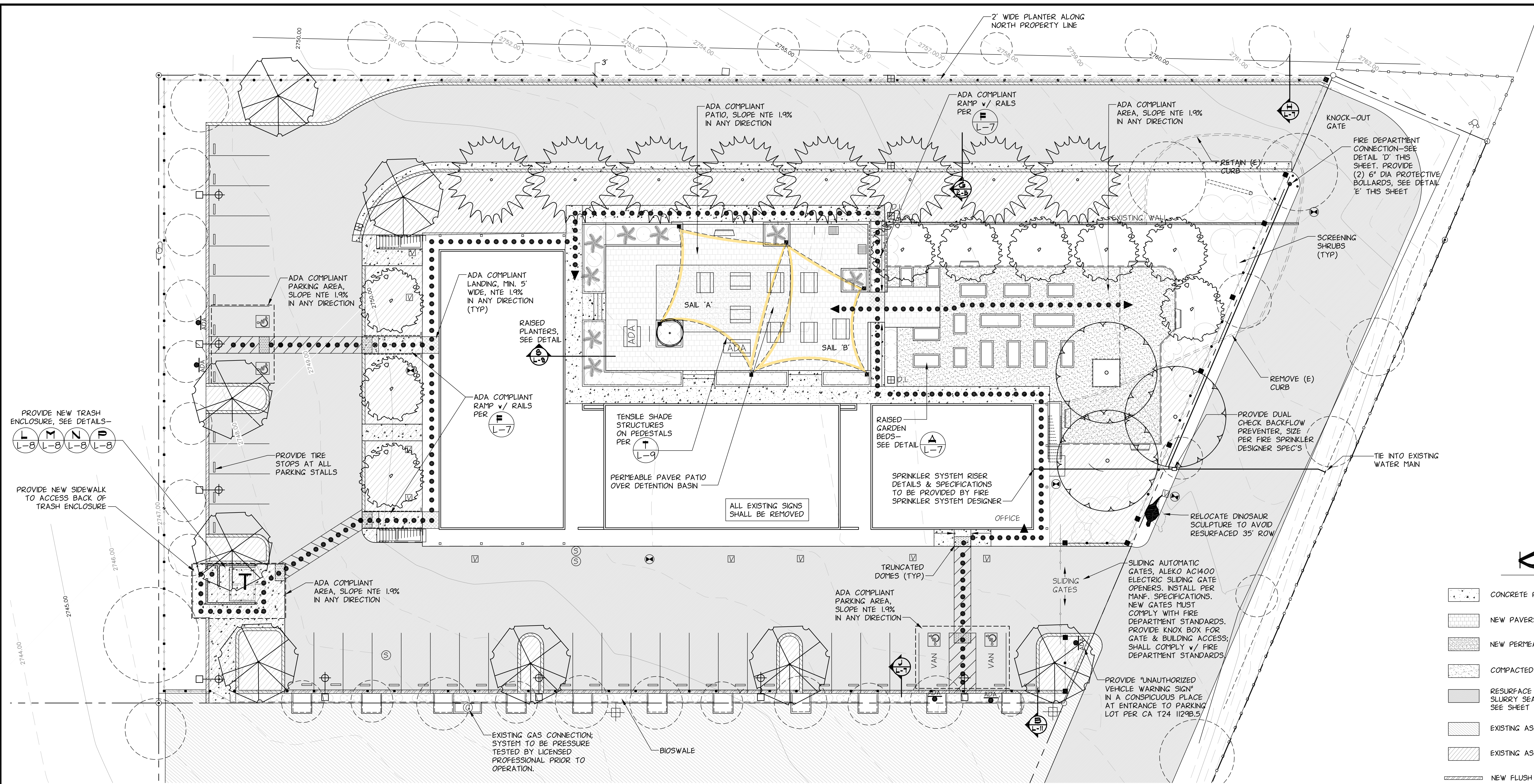
16445 Bldg 200
Grass Valley, CA 95949
530.277.0733
bda@bisnettdesign.com
Landscape Architecture & Environmental Planning

DESERT HAVEN APARTMENTS
CALIFORNIA
VICTORVILLE,

TOPOGRAPHIC SURVEY

6-21-18
DRAWING: :





PROVIDE NEW TRASH ENCLOSURE, SEE DETAILS--
L-8 M-8 N-8 P-8

PROVIDE NEW SIDEWALK TO ACCESS BACK OF TRASH ENCLOSURE

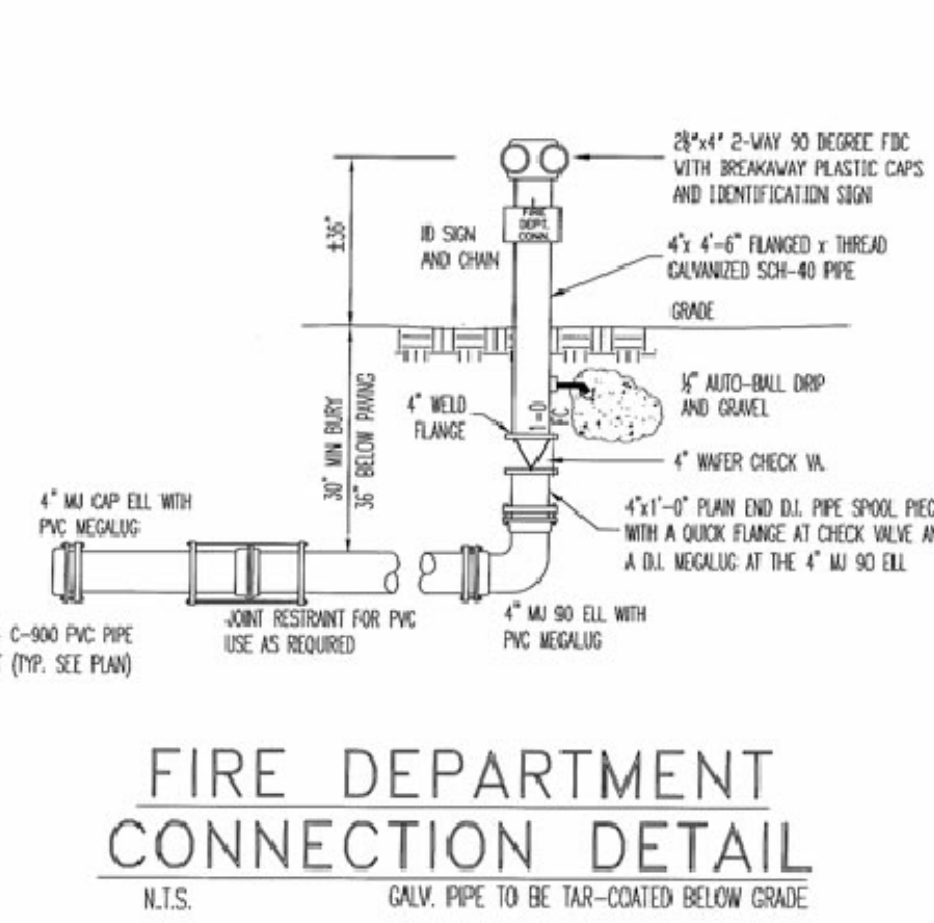
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| AREAS | |
|-------------------------|-------------|
| COMMUNITY SPACE | |
| PATIO | 3,540 S.F. |
| GARDEN | 3,272 S.F. |
| LANDSCAPE | 13,802 S.F. |
| CIRCULATION | |
| (E) RESURFACED ASPHALT | 22,426 S.F. |
| (E) CONCRETE SIDEWALK | 2,398 S.F. |
| (N) CONCRETE SIDEWALK | 2,130 S.F. |
| (N) TRASH ENCLOSURE PAD | 288 S.F. |

SITE FURNISHING NOTES

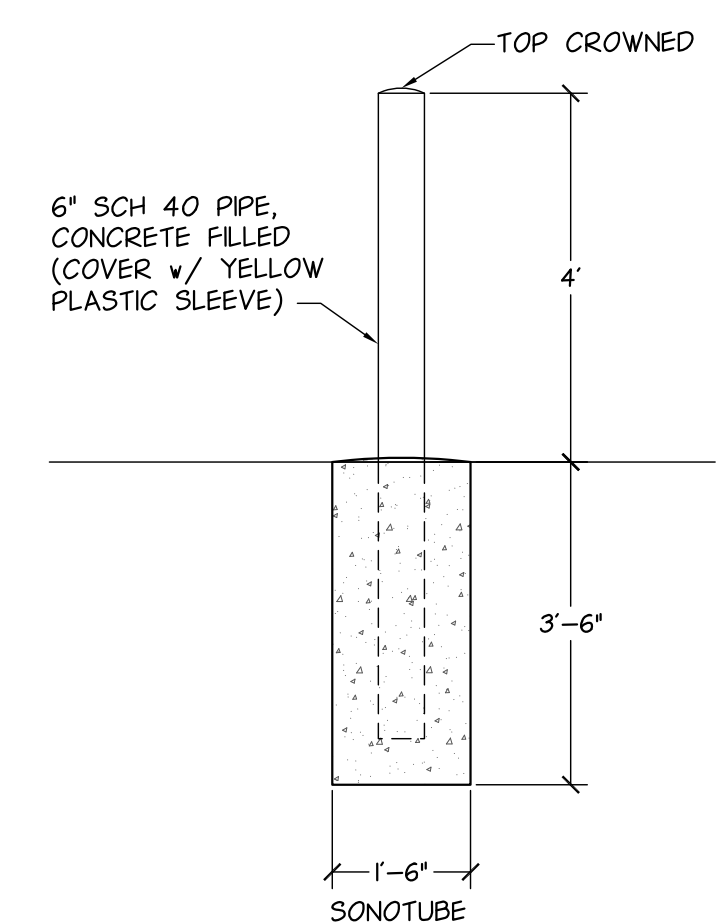
- POLLY PRODUCTS ADA COMPLIANT TRADITIONAL 6' BACKED BENCH, BASE COLOR BROWN, TOP COLOR WEATHERED, (6) TOTAL
- PICNIC TABLE-POLLY PRODUCTS STEP THRU 6' TABLE, PRODUCT SKU: ASM-PT516-01, BASE COLOR BROWN, TOP COLOR WEATHERED, (8) TOTAL
- ACCESSIBLE PICNIC TABLE-POLLY PRODUCTS TUFF STEP THRU ADA ACCESS PICNIC TABLE, PRODUCT SKU: ASM-PT516-01, BASE COLOR BROWN, TOP COLOR WEATHERED, (2) TOTAL

CONTACT INFORMATION FOR POLLY PRODUCTS:
1-877-609-2243, customerservice@pollyproducts.com

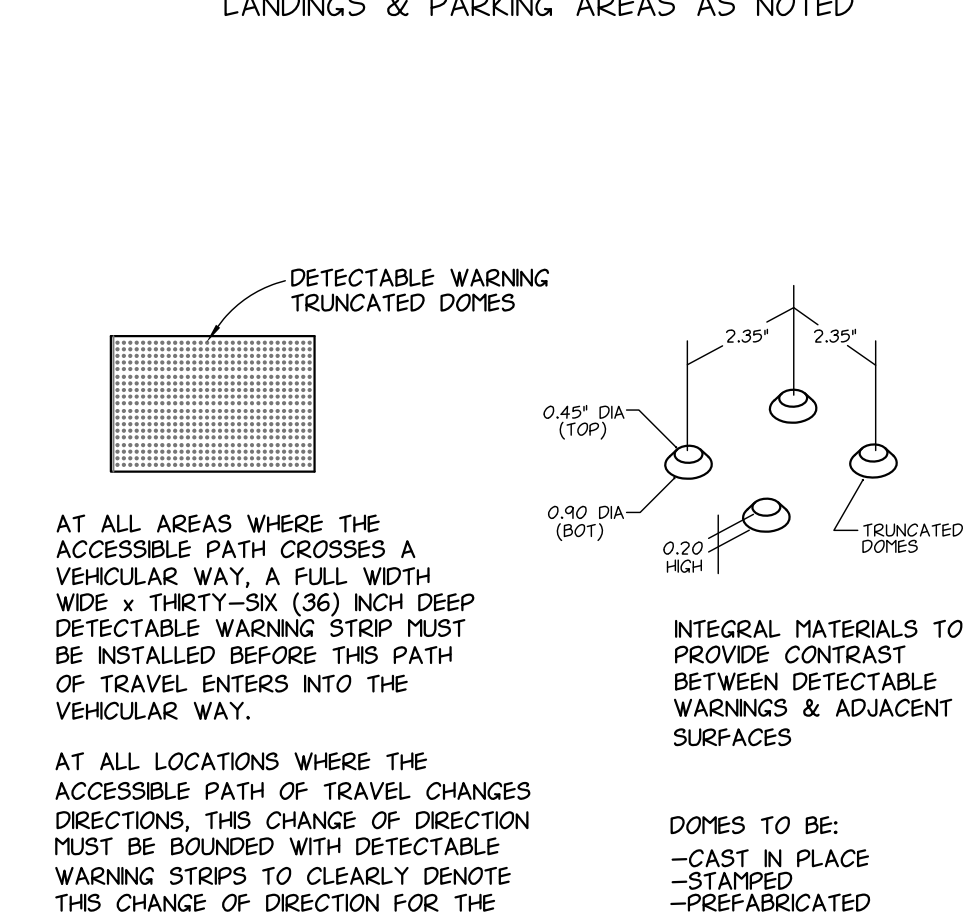


FIRE DEPARTMENT CONNECTION DETAIL
N.T.S.
GALV. PIPE TO BE TAR-COATED BELOW GRADE

DETAIL 'D'
NOT TO SCALE



DETAIL 'E'
BOLLARD DETAIL
NOT TO SCALE



DETAIL 'F'
TRUNCATED DOME DETAIL
NOT TO SCALE

PATH OF TRAVEL NOTES:

- SLOPE NTE 4.9% IN LINE OF TRAVEL
- CROSSPITCH NTE 1.9%
- SLOPE NTE 1.9% IN ANY DIRECTION FOR LANDINGS & PARKING AREAS AS NOTED

AT ALL AREAS WHERE THE ACCESSIBLE PATH CROSSES A VEHICULAR WAY, A FULL WIDTH WIDE x THIRTY-SIX (36) INCH DEEP DETECTABLE WARNING STRIP MUST BE INSTALLED BEFORE THIS PATH OF TRAVEL ENTERS INTO THE VEHICULAR WAY.

AT ALL LOCATIONS WHERE THE ACCESSIBLE PATH OF TRAVEL CHANGES DIRECTIONS, THIS CHANGE OF DIRECTION MUST BE BOUNDED WITH DETECTABLE WARNING STRIPS TO CLEARLY DENOTE THIS CHANGE OF DIRECTION FOR THE VISUALLY IMPAIRED.

INTEGRAL MATERIALS TO PROVIDE CONTRAST BETWEEN DETECTABLE WARNINGS & ADJACENT SURFACES

DOMES TO BE:
-CAST IN PLACE
-STAMPED
-PREFABRICATED

KEY

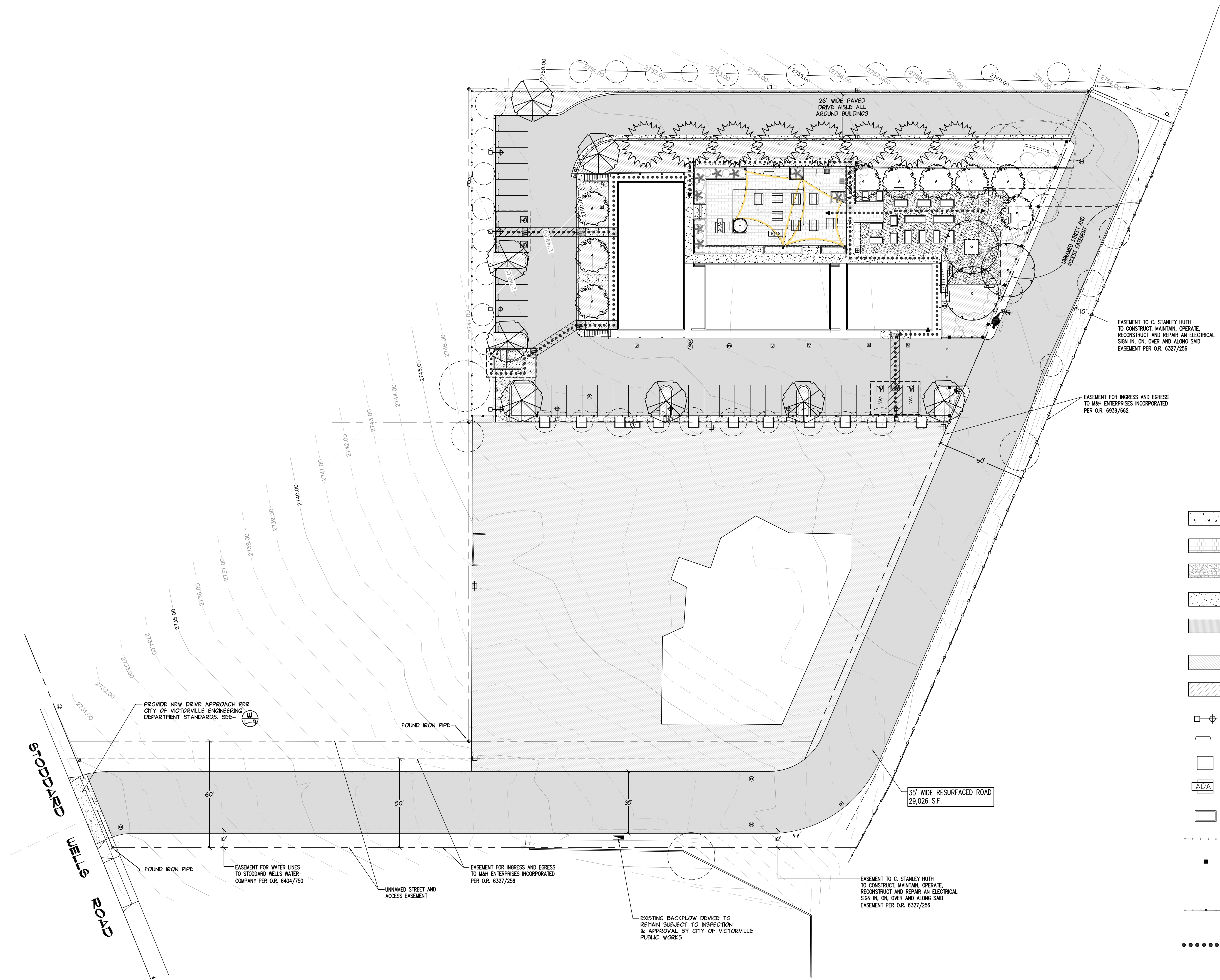
- CONCRETE PAVING (NEW), SEE-- (C) L-7
- NEW PAVERS IN MORTAR BED, SEE-- (A-A) L-11
- NEW PERMEABLE PAVERS, SEE-- (A-A) L-11
- COMPACTED DECOMPOSED GRANITE, SEE NOTES L-6
- RESURFACE PAVING: PATCH REPAIR POTHOLES, SLURRY SEAL AS SHOWN IN PARKING & DRIVE AREAS. SEE SHEET L-13 FOR SPECIFICATIONS
- EXISTING ASPHALT PAVING TO REMAIN
- EXISTING ASPHALT PAVING TO BE REMOVED
- NEW FLUSH CURB, SEE-- (J) L-7
- NEW RAISED CURB, SEE-- (H) L-7
- POLE LIGHT (7), SEE-- (G) L-8
- BENCH (6)-SEE NOTE 1 THIS SHEET
- PICNIC TABLE (8)-SEE NOTE 2 THIS SHEET
- ADA PICNIC TABLE (2)-SEE NOTE 3 THIS SHEET
- AMERICAN OUTDOOR GRILL MODEL 24NPT (2)
- RAISED GARDEN PLANTERS (15) SEE-- (A) L-7
- 6' ORNAMENTAL IRON FENCE SEE-- (R) L-7
- 16" SQ. SLUMP-STONE PLASTERS ALONG NEW FENCELINE @ 24' O.C. SEE-- (E) L-7
- ORNAMENTAL IRON FENCE 1/2"x2" METAL POSTS @ 8' O.C. SEE-- (R) L-8
- SURE-LOCK STEEL EDGING HEADER, SEE-- (B) L-7
- ADA PATH OF TRAVEL-SEE NOTES THIS SHEET
- EXISTING GAS METER
- ADA PARKING SIGN PER (Z) L-9
- TRUNCATED DOMES PER (F) L-2

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Great Valley, CA 95949
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bisnett@bisnettdesign.com
Landscape Architecture & Environmental Planning

DESERT HAVEN APARTMENTS
VICTORVILLE, CALIFORNIA
SITE PLAN

6-21-18
DRAWING: L-2

BY: _____
NO. _____
DATE: _____
ISSUED FOR: _____
LAST EDIT DATE: _____
CAD REF. FILE: _____



- KEY**
- CONCRETE PAVING (NEW), SEE DETAIL
 - NEW PAVERS
 - NEW PERMEABLE PAVERS
 - COMPACTED DECOMPOSED GRANITE
 - RESURFACE PAVING, PATCH REPAIR POTHOLES, SLURRY SEAL AS SHOWN IN PARKING & DRIVE AREAS. SEE SHEET L-13 FOR SPECIFICATIONS
 - EXISTING ASPHALT PAVING TO REMAIN
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 - POLE LIGHT (7)
 - BENCH (6)
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 - ADA PICNIC TABLE (2)
 - RAISED GARDEN PLANTERS (15)
 - 6' ORNAMENTAL IRON FENCE
 - 16" SQ. SLUMP-STONE PLASTERS ALONG NEW FENCELINE @ 24" O.C.
 - ORNAMENTAL IRON FENCE w/2"x2" METAL POSTS @ 8' O.C.
 - ADA PATH OF TRAVEL

EASEMENT TO C. STANLEY HUTH TO CONSTRUCT, MAINTAIN, OPERATE, RECONSTRUCT AND REPAIR AN ELECTRICAL SIGN IN, ON, OVER AND ALONG SAID EASEMENT PER O.R. 6327/256

EASEMENT FOR INGRESS AND EGRESS TO MAH ENTERPRISES INCORPORATED PER O.R. 6939/662

EASEMENT TO C. STANLEY HUTH TO CONSTRUCT, MAINTAIN, OPERATE, RECONSTRUCT AND REPAIR AN ELECTRICAL SIGN IN, ON, OVER AND ALONG SAID EASEMENT PER O.R. 6327/256

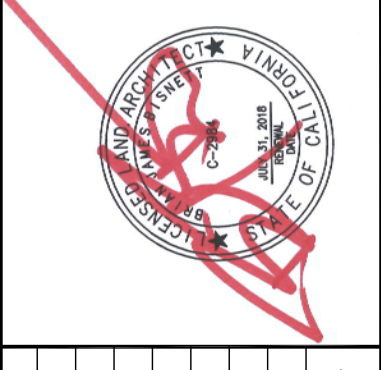
EXISTING BACKFLOW DEVICE TO REMAIN SUBJECT TO INSPECTION & APPROVAL BY CITY OF VICTORVILLE PUBLIC WORKS

EASEMENT FOR INGRESS AND EGRESS TO MAH ENTERPRISES INCORPORATED PER O.R. 6327/256

UNNAMED STREET AND ACCESS EASEMENT

EASEMENT FOR WATER LINES TO STOODARD WELLS WATER COMPANY PER O.R. 6404/750

PROVIDE NEW DRIVE APPROACH PER CITY OF VICTORVILLE ENGINEERING DEPARTMENT STANDARDS. SEE--



| NO. | DATE | ISSUED FOR | BY |
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| 1 | 4-17-18 | FOR REVIEW | |

NOTE

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BAS SHOULD MEASURE 1" OR DRAWING IS NOT TO SCALE

DESIGNED: JPS
DRAWN: JPS
CHECKED:
APPROVED:
CAD REF. FILE:
LAST EDIT DATE:

Bisnett Design Associates

bda

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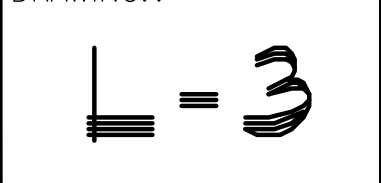
Landscape Architecture & Environmental Planning

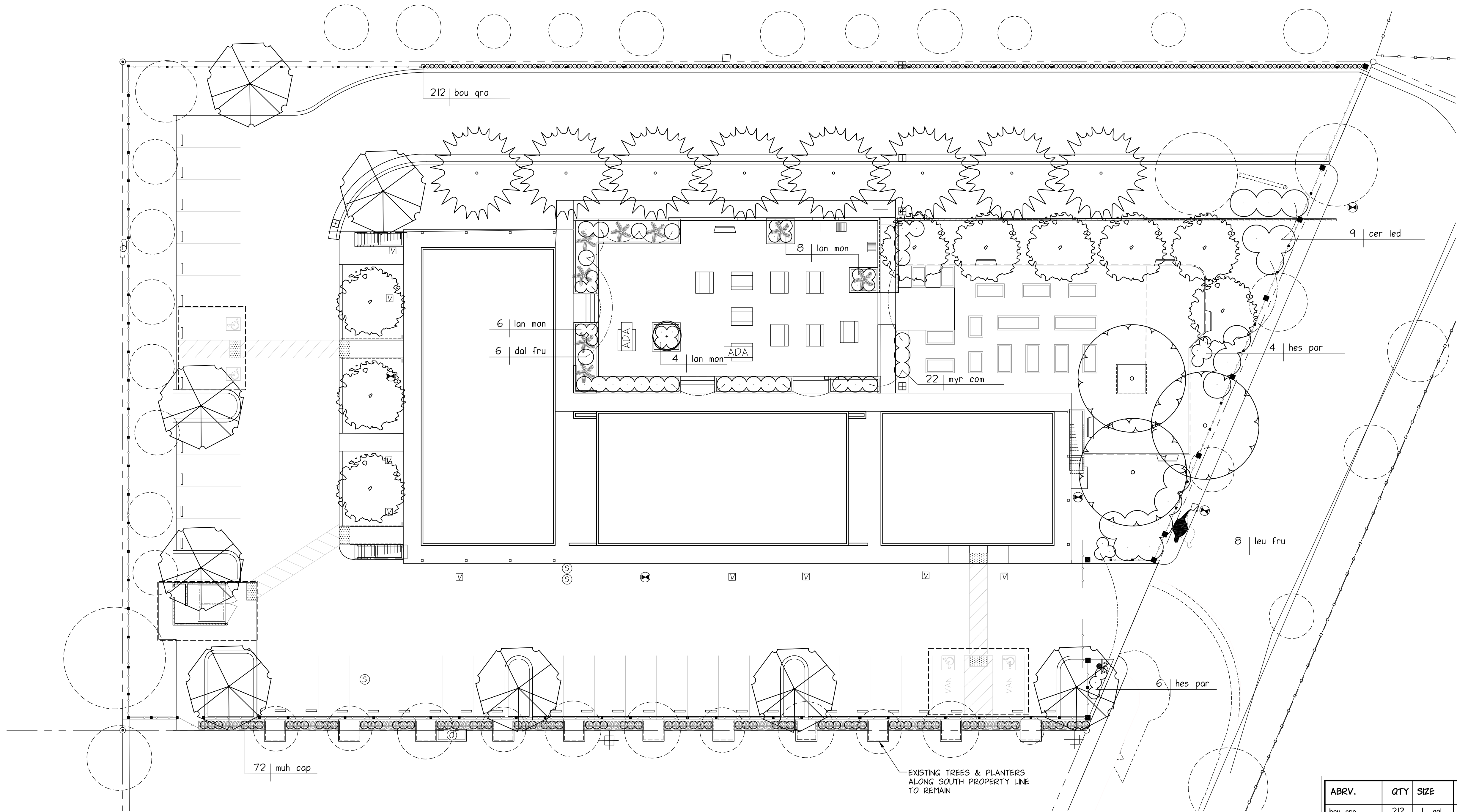
DESERT HAVEN APARTMENTS
VICTORVILLE, CALIFORNIA

SITE PLAN
WITH OFF-SITE IMPROVEMENTS

6-21-18

DRAWING: :





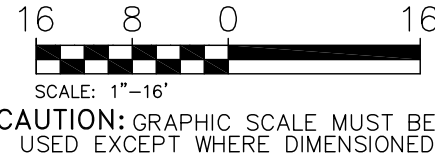
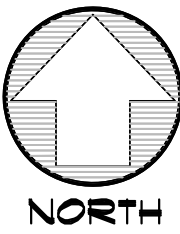
PLANT LEGEND

| ABRV. | QTY | SIZE | PLANT NAME | COMMON NAME | OC' | WATER USE |
|---------|-----|--------|-------------------------|-----------------------------|-----|-----------|
| bou gra | 212 | 1 gal. | Bouteloua gracilis | Blue Grama Grass | 15" | L |
| cer led | 9 | 5 gal. | Cercocarpus ledifolius | Curl-Leaf Mountain Mahogany | 9' | L |
| dal fru | 6 | 1 gal. | Dalea frutescens | Black Dalea | 4' | L/M |
| hes par | 10 | 1 gal. | Hesperaloe parviflora | Red Yucca | 3' | L/M |
| lan mon | 18 | 1 gal. | Lantana montevidensis | Lantana | 3' | M |
| leu fru | 8 | 5 gal. | Leucophyllum frutescens | Texas Ranger | 7' | L/M |
| muh cap | 72 | 1 gal. | Muhlenbergia capillaus | White Avn Muhly | 2' | L |
| myr com | 22 | 5 gal. | Myrtus communis | Myrtle | 4' | L/M |

ANY DISCREPANCY BETWEEN THE MAXIMUM SPACING CRITERIA AND THE NUMBER OF PLANTS SHOWN ON THE LANDSCAPE PLAN SHALL RESULT IN THE SPACING CRITERIA SUPERSEDING ANY OTHER INFORMATION SHOWN ON THE LANDSCAPE PLAN.

TREE LEGEND

| SYMBOL | QTY | SIZE | PLANT NAME | COMMON NAME | WATER USE |
|--------|-----|---------|--|------------------------|-----------|
| | 9 | 15 gal. | Cercidium 'Desert Museum' | Thornless Palo Verde | L/M |
| | 8 | 24" box | Chamaerops humilis | Mediterranean Fan Palm | M |
| | 8 | 15 gal. | Chitalpa laskhentensis 'Morning Cloud' | Chitalpa | L/M |
| | 3 | 15 gal. | Quercus suber | Cork Oak | L/M |
| | 8 | 15 gal. | Pinus eldarico | Afghan Pine | L/M |
| | 1 | 24" box | Punica granatum 'Tanyasho' | Flowering Pomegranate | M |



DESIGNED: JPS

DRAWN: JPS

CHECKED:

APPROVED:

SCALE: 1"=16'

NOTE: 0 1/2 1

BAS SHOULD MEASURE 1" OR DRAWING IS NOT TO SCALE

LAST EDIT DATE:

1 4-17-18

NO.

DATE

FOR REVIEW

ISSUED FOR

BY

Bisnett
Design
Associates

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Grass Valley, CA 95949
530.277.0733
bdt@bisnettdesign.com

DESERT HAVEN APARTMENTS

VICTORVILLE, CALIFORNIA

6-21-18

DRAWING: :

PLANTING PLAN

= 4



PLANTING

GENERAL

REVIEW: The Contractor shall specifically request two working days in advance the following review prior to progressing with the work: plant material approval and layout, substantial completion, and final review.

NOTIFICATIONS OF PLANT MATERIAL: Within 7 days after award of contract, Contractor shall submit to Landscape Architect certification of the quantity and species of plant material ordered, the nursery supplying the material and list of plant material not available. Landscape Architect must approve proposed substitutions.

QUALITIES: Contractor shall furnish and install all plants shown schematically on the drawings. Plant list is for use of client and Landscape Architect and does not represent complete lists of the contract.

ROOT SYSTEMS: All container-grown plant material shall be grown in the container for at least six months prior to the planting, and shall be well established in the container. Contractor shall allow one percent of the plant quantity for removal and inspection. Any plant material which is determined by the Landscape Architect within one year following final acceptance of the project to be defective, declining, root bound or otherwise deficient due to abnormal root growth, shall be replaced by the Contractor with specimens equivalent in development to adjacent plantings.

TREES: All trees shall have straight, uniformly tapered trunks free of damaged bark, with all minor abrasions and cuts showing healing tissue. Trees unable to stand upright without support shall be rejected. Sucker basal and lateral growth shall be removed.

HEALTH: Foliage, roots and stems of all plants shall be vigorous, healthy and normal for species. All plants to be free of disease, harmful insects, burns or other damaging characteristics.

UNTRUE SPECIES: All plant material determined by the Landscape Architect to be untrue to the species, clone and/or variety specified within the first year following acceptance of the project, shall be replaced by the Contractor with specimens equivalent in development to adjacent plantings.

SOIL PREPARATION

DESCRIPTION:

Work in this section includes the installation of topsoil and soil amendments, fresh grading, preparation of planting pits and related incidental work.

REVIEWS: The Contractor shall specifically request two working days in advance the following review prior to progressing with the work: rough grading, planting pits for box trees, fresh grade.

NOTIFICATION OF AMENDMENTS: Contractor shall provide samples of written certificates stating quantity, volume, composition and origin for all amendments, chemicals and import soils before said material is used on the site.

PRODUCT SPECIFICATIONS

NATIVE SOIL: Shall be the soil existing on the site prior to work after all rocks over one-and one-half inches in diameter and all foreign matter have been removed.

IMPORTED TOPSOIL: Shall be free of chemicals harmful to plant growth, weed seed and growth, harmful insects, rocks over one-and-one-half inches in diameter and clods over 4 inches in diameter, or which will not break up during installation. Soil shall conform to USDA classification for sandy loam.

SOL AMENDMENT: Shall be a nitrified, composted sawdust or rice-hull-based product approved by Landscape Architect prior to delivery on site.

FERTILIZER: For container-grown plants, such as use controlled-release "Bio-Pak" fertilizer packets, 10-gram 16-16-8 NPK with sulphur, iron, magnesium and zinc. For ground cover and lawn areas use urea-based resin coated fertilizer, 16-7-12 NPK with iron.

PLANTER SOIL MIX: To be a bulk UC-type planting mix or equivalent as approved by Landscape Architect.

MULCH

To be chipped bark screened 1/4"-1", 3" deep as approved by Landscape Architect.

PRE-EMERGENTS: Apply Trifluralin, Ronstar 10 or approved equivalent to area of work after planting as per manufacturers instructions. Apply second application at the end of the maintenance period.

ROOT FUNGICIDES: Treat rootballs of all California natives with Benlate as per manufacturers instructions or approved alternative during transplanting.

ANTI-DESICCANTS: Apply Wilt-pruf NCP or approved equivalent as per manufacturers instructions to all trees immediately after planting.

WARRANTY: The contractor shall be responsible for all plant material and workmanship for a period of 90 days, except as noted, following date of substantial completion. At the end of the period any plant that is dead or has not shown satisfactory growth due to Contractor's installation or negligence shall be replaced at Contractor's expense with material originally specified. Contractor shall not be held liable for plants damaged or destroyed by vandalism or Acts of God.

THE LIMITS: The maintenance period shall commence from the date of substantial completion and extend for 90 days thereafter.

REQUIREMENTS: All planting areas shall be kept weed-free at all times during the maintenance period. Disease, insect and pest control shall be the Contractor's responsibility. All planting areas shall be kept at optimum moisture for plant growth.

PLANTING: All planting areas shall be kept at optimum moisture for plant growth. Irrigation by automatic irrigation system shall be hand watered as needed and irrigation system adjusted as necessary to maximize performance. Erosion, or settlement of soil, sod or plantings shall be repaired by contractor, and dead or dying plants replaced promptly as their condition becomes apparent.

OWNER'S RESPONSIBILITY: Work installed under the contract damaged by vandalism, vehicular traffic, and/or theft prior to substantial completion shall be replaced by Contractor without cost to Owner. Subsequent to substantial completion, losses due to vandalism, vehicular traffic, and/or theft shall be the responsibility of the Owner to repair or replace.

TURF GRASS: Contractor shall provide all services and incidental work necessary to promote and maintain a hardy, well-established turf during the maintenance period. Bare or weak spots should be promptly repaired. Turf grass should be mowed to a two inch height after a first exceeds a three inch height and mowed at the height weekly. Grass clippings shall be removed from the site.

SUBSTANTIAL COMPLETION: Occurs at time when Landscape Architect certifies all major planting, including seed and ground cover, has been satisfactorily installed, the irrigation is fully operational, mulches and top dressings are in place and all other work is satisfactorily completed, with the exception of minor items completed by the Landscape Architect for prompt completion by Contractor.

EXECUTION

SOLS TEST: The soil preparation requirement shown below is preliminary for bidding purposes only. A soil test shall be provided by the contractor at time of construction. Soil preparation requirements shall be modified to comply with actual soil preparation recommendations in the soil report. A copy of the soil report shall be submitted prior to approval of the soil amendments per these specifications.

LIMITS AND GRADES: The Contractor shall specifically request two working days in advance prior to progressing with the work a review of existing grades and of the site and work completed to date, and of the soil preparation work to commence. Contractor shall complete the rough grading as necessary to round top and toe of all slopes and to provide natural contours between newly graded areas and the surrounding topography.

TOPSOIL PLACEMENT: Subgrade shall be ripped or tilled until it is loose and friable to depth of six inches. Topsoil shall be spread to six inches in depth and tilled uniformly into subsoil. Remainder of topsoil to be spread, thoroughly water-settled, and brought to smooth even grade in accordance with paragraph entitled "ROUGH GRADING".

AMENDMENT PLACEMENT: Areas to be planted with perennials or plant materials from flats or six-packs shall have a minimum of four (4) cubic yards of approved amendment per 1000 square feet tilled thoroughly into the top six inches of soil until a homogeneous mixture of soil and amendment has been obtained. Lawn areas shall have a minimum of three inches of approved amendment evenly installed. Fertilizer shall be applied over amended areas at the rate of twenty pounds per one thousand square feet prior to tilling.

BACKFILL OF PLANT PITS: Backfill for plant pits shall be one part approved amendment to two parts existing soil for rhododendrons, azaleas and other acid-loving plantings of the ericaceae family, and one part approved amendment to three parts existing soil for other plantings. Plant pits shall have their sides and bottoms scarified to prevent compaction or glazing. Plant pits shall be dug to twice the width and 1-1/2 times the depth of the rootball to be planted for one, five and fifteen gallon plantings. Boxed specimens shall have a minimum of twelve inches of backfill all around. Pits shall be filled with amended backfill to height required for planting, filled with water, and permitted to drain. Verify plantings are at or slightly above finish grade.

FERTILIZER: Container plants shall receive fertilization at the rate of one packet per container gallon.

1. Specimen plants shall receive fertilization at the above rate or at 5 packets per caliper inch, whichever is less.

2. Space packets evenly around the rootball halfway up (or at varying depths for fifteen gallon and boxed specimens) without touching sides of rootball.

3. Acid loving plants of family ericaceae such as Rhododendron, Azalea, Pieris, Camellia and Erica shall receive acid fertilizer as per manufacturers specifications.

TRANSPLANT PROCEDURES:

1) Soak area within drip line of plant thoroughly, 48 hours before transplanting small specimen and 96 hours before transplanting large specimen trees. Verify that plant is not drought stressed and moisture remains throughout root zone.

2) Prepare planting hole as per regular planting specifications.

3) Prune back 30%-50% of the foliage, depending on type of planting and season.

4) Spray remaining foliage with "Wiltpruf" or approved equal anti-desiccant.

5) Trench all around rootball and secure if necessary. Undergrade rootball and lift, with sling if necessary, and place in new plant pit. Do not allow rootball to break.

6) Place rootball at or above grade. Trees should be placed with crowns minimum 2" above finish grade.

7) Fertilize as per above specs.

8) Backfill around rootball and build watering basin.

9) Soak thoroughly.

10) Stake trees to prevent movement of rootball as per tree detail.

FINISH GRADING: Contractor shall finish all planting areas, and shall remove all rocks and clods over 1" in diameter from surface. All erosion damage occurring during construction period shall be repaired, and all areas should be smooth and evenly graded. Unless otherwise noted, all soil finish grades shall be one inch below finish elevations of walks, pavement and curbs. Grade all finish surfaces smooth and even with positive drainage to swales or drain lines.

SODDING PROCEDURES:

1) Soil Preparation: As per above.

2) Grading and Rolling: Carefully smooth all surfaces to be sodded. Roll area to expose soil depressions or surface irregularities. Regrade as required.

3) Fertilizing: Spread turf starter fertilizer onto the soil evenly at the rate of four (4) pounds per 1000 square feet of lawn area.

4) Laying sod: Lay first strip of sod along a straight line (use a string in irregular areas.) Butt joints tightly, but do not overlap edges. On second strip, stagger joints. Use a sharp knife to cut sod to fit curves, edges and irrigation heads.

5) Watering: Do not lay entire lawn before watering. When a conveniently large area has been sodded, water lightly to prevent drying. Continue to lay sod and to water until installation is complete.

6) Rolling sod: After laying all sod, roll lightly to eliminate irregularities and to form good contact between sod and soil. Avoid a very heavy roller or excessive initial watering which may cause roller marks.

7) Irrigation: Water thoroughly the completed lawn surface. Soil should be moistened at least eight (8) inches deep. Repeat irrigation at regular intervals to keep sod moist at all times until rooted. After sod is established, decrease frequency and increase amount of water per application as necessary.

8) Replacement: Replace all dead or dying sod with equal material as directed by the Landscape Architect.

FINAL REVIEW: Contractor shall request a final review of the project within five (5) days in advance of the proposed date, and subsequent to the completion of the maintenance period. Failure to request this review will automatically postpone the date of completion, and lengthen the maintenance period, until final review is approved.

MAINTENANCE: All landscaping material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA).

IRIGATION

GENERAL

DESCRIPTION:

Work in this section includes installation of a complete automatic irrigation system, including trenching, piping, valves, back flow prevention device, controller, pressure regulators, sprinklers, emitters and other components and materials related thereto.

QUALITY: All materials shall be new and of the quality specified or better. All materials shall be clearly marked by manufacturer on material, containers, or certificates of contents.

PIPE AND FITTINGS: Pipes to be Schedule 40 Polyvinyl chloride pipe (PVC). Lateral lines to be Schedule 40 PVC. Weldon PVC primer or equal to be used according to manufacturers directions on Schedule 40 pipe connections. Do not use on class pipe. All fittings shall be Schedule 40 heavy wall or thicker. Use solvent as recommended by pipe manufacturer. Use Teflon tape on all threaded joints. For above ground mainline connections use galvanized pipes, for above ground laterals use schedule 80 pipe (with clear cement) or galvanized pipe. For sprinkler heads use schedule 80 nipples with marlex Ellis triple swag.

CONTROL WIRE: To be 16 gauge, 24 volt solid UA approved for direct burial. Splices shall be made in valve boxes only and shall be "Scotch-lok" seal packs or equal according to manufacturers instructions.

VALVE BOXES: Shall be precast concrete or plastic of type and size indicated. Must be free of cracks and structural defects. Boxes subject to vehicular traffic shall be concrete and have heavy-duty steel covers.

IRRIGATION EQUIPMENT: Refer to drawings. Substitutions must be approved in advance in writing by Landscape Architect.

EXECUTION

GRADING: Contractor shall install all irrigation features to their finish grade and at depths indicated. All rough grading to be finished or accommodated before trenching begins.

LAYOUT: Layout work as accurately as possible to the drawings. Note that the drawings are diagrammatic. Swag joints, offsets and all fittings are not shown. Pipelines shown parallel on the drawing may be installed in a common trench. Where pipelines are shown parallel or adjacent to shrub or ground cover areas they shall be installed in those areas. Where pipelines are shown alongside the intersection of lawn and pavement areas they shall be installed in the lawn area. Changes in depth of pipe shall be accomplished with 45-degree fittings. Manholes to be buried to 24" minimum depth, laterals to 12" minimum, except where otherwise noted.

FABRICATION: Snake pipe from side to side where trenches exceed 30 feet in length. Manholes to be constructed to allow valves and boxes to be arranged neatly, uniformly and parallel with adjacent surfaces where appropriate.

THRUST BLOCKS: Contractor to install thrust blocks on mains at all right angle bends, changes in grade and other points as recommended by manufacturer to protect pipe from damage where project pressure exceeds 70 psi.

CONTROL WIRE: Contractor wire to be taped to irrigation line every 10 feet, where practical or placed in class 200 or thicker conduit. Place in steel conduit, where installed above finish grade.

ADJUSTMENTS: Contractor to adjust or, radius, height and distribution of all sprinkler heads for maximum performance of system without additional cost to owner.

BACKFILL: Backfill with approved native or imported topsoil. Use no debris in backfill. No rocks greater than 1" diameter may be in direct contact with pipe. Compact backfill to prevent settling.

FINISH GRADE: Set all heads at finish grade on polyethylene cut-off risers or swag joints as noted. Top of all valve boxes to be flush with finish grade.

CONTROLLER: Contractor to clearly label and sequence stations as they are located around the site. Contractor shall submit forms as necessary to execute the controller operations, and shall provide owner with same. Contractor to provide owner with information regarding operation and adjustment of controller, valves and sprinkler heads.

AS-BUILT: Contractor shall keep a record of all changes to the system as they are made throughout the project, and shall provide owner with same on completion of project. Features below ground shall be identified with at least two measurements from above ground reference points, such as walls, walls or sprinkler heads.

VEGETATION: System design is based on 3/0 gpm and 60 psi being available at the point of connection. If the flow and pressure is not available the Landscape Architect shall be notified in writing prior to commencement of irrigation work. Flows in all pipes not to exceed 5 feet per second. Pipe to be upsized where necessary to avoid flows in excess of 5 feet per second.

UTILITIES: Contractor shall verify location of all on-site utilities and make all notifications as required prior to trenching. Restoration of damaged utilities is the Contractor's responsibility.

CODES: Irrigation system to be installed in accordance with all applicable local codes as well as manufacturers specifications. If there is a discrepancy with the specifications contained herein, Landscape Architect shall be notified promptly by telephone and in writing prior to installation.

CLEAN-UP: Site to be kept neat and debris-free throughout course of project. All surplus material to be removed from site at completion of work and/or when directed by the Landscape Architect.

WARRANTY: Landscape contractor shall fill and repair all depressions and replace as necessary lawn and planting affected by settling or irrigation trenches for one year following acceptance of the job. Contractor shall also guarantee all materials, equipment and workmanship to be free of defects for a period of one year following acceptance of project, and shall replace and repair any defects at the expense that may be found in that period.

DECOMPOSED GRANITE

Decomposed granite must be crushed granite rock screenings graded from 3/8"-inch particles to dust. The material must comply with the following gradation:

| Sieve Size | Percent Passing |
|------------|-----------------|
| 3/8"-inch | 100 |
| No. 4 | 95-100 |
| No. 8 | 75-80 |
| No. 16 | 55-65 |
| No. 30 | 40-50 |
| No. 60 | 25-35 |
| No. 100 | 20-25 |
| No. 200 | 5-15 |

The decomposed granite must be uniform in color and uniform in texture. Color shall be "California Gold" gravel or approved equal.

BINDING MATERIAL / SOLIDIFYING EMULSION: Solidifying emulsion must be either a water based polymer or powder based product and be non-toxic, colorless, odorless, and organic in nature. The binder / solidifying emulsion must not alter the decomposed granite color. "Stabilizer" by Stabilizer Solutions or approved equal, installed per mfg specifications.

EARTHWORK

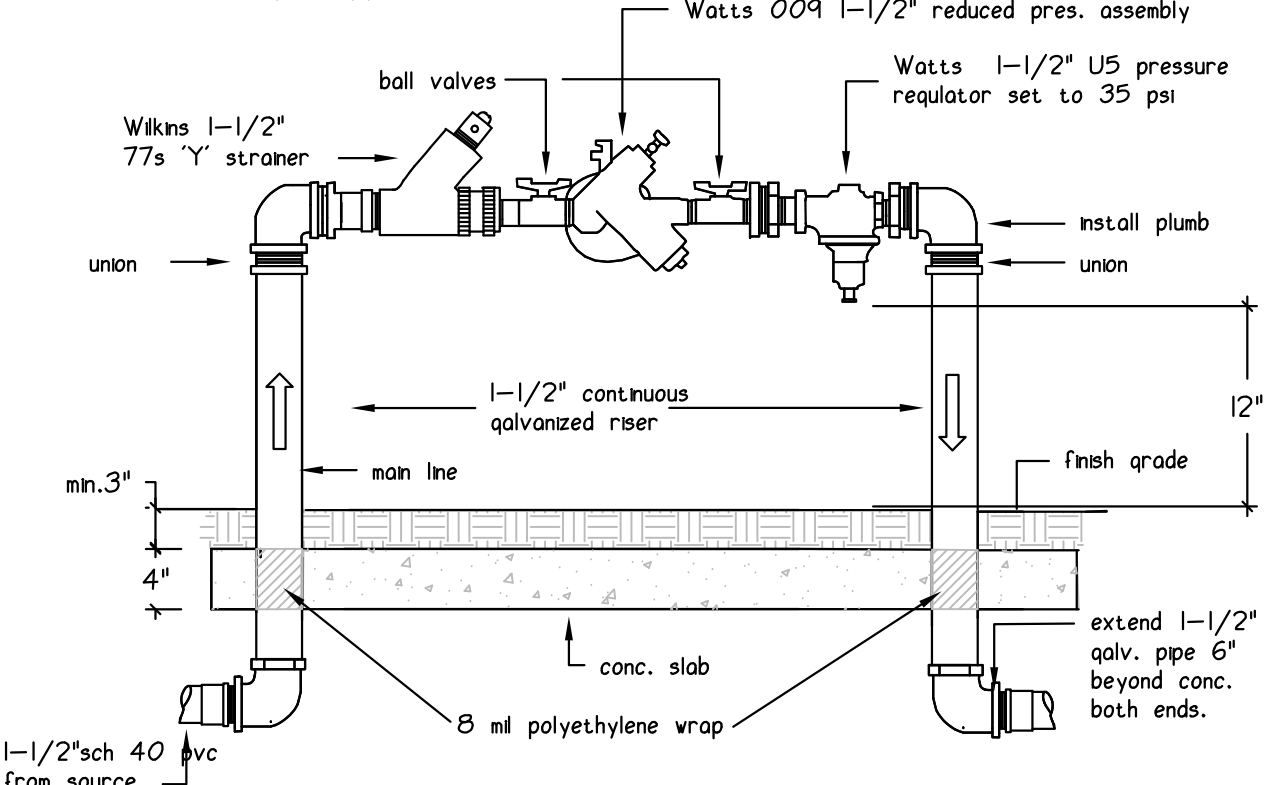
After clearing, excavate areas to receive decomposed granite. Where decomposed granite is to be placed adjacent to an existing curb, pavement, or sidewalk, excavate so that the finished decomposed granite elevation adjacent to curb, pavement, or sidewalk will maintain planned flow lines, slope gradient and contours of the project site. After excavation, grade areas to receive decomposed granite to a smooth, uniform surface and compact to not less than 90 percent relative compaction.

STABILIZED DECOMPOSED GRANITE INSTALLATION

Do not install decomposed granite during rainy conditions.

The solidifying emulsion thoroughly and uniformly throughout the decomposed granite per the manufacturer's recommendations. Mix the material in the field using portable mixing equipment, or delivered in mixer trucks from a local ready-mixed plant. Place decomposed granite uniformly no more than 2-inch thick, over 2" 95% compacted class 1 base rock. Compact the layer of decomposed granite to a relative compaction of not less than 90 percent. Compaction must not begin less than 6 hours after placement, nor more than 48 hours. Apply a final application of binder / solidifying emulsion as recommended by the manufacturer. Prevent runoff or overspray of binder / solidifying emulsion onto adjacent paved or planting areas. When work is complete, the surface must be smooth, compacted to 90 percent, and uniform, maintaining original flow lines, slope gradient and contours to the site conditions, with minimum 1.5% slope.

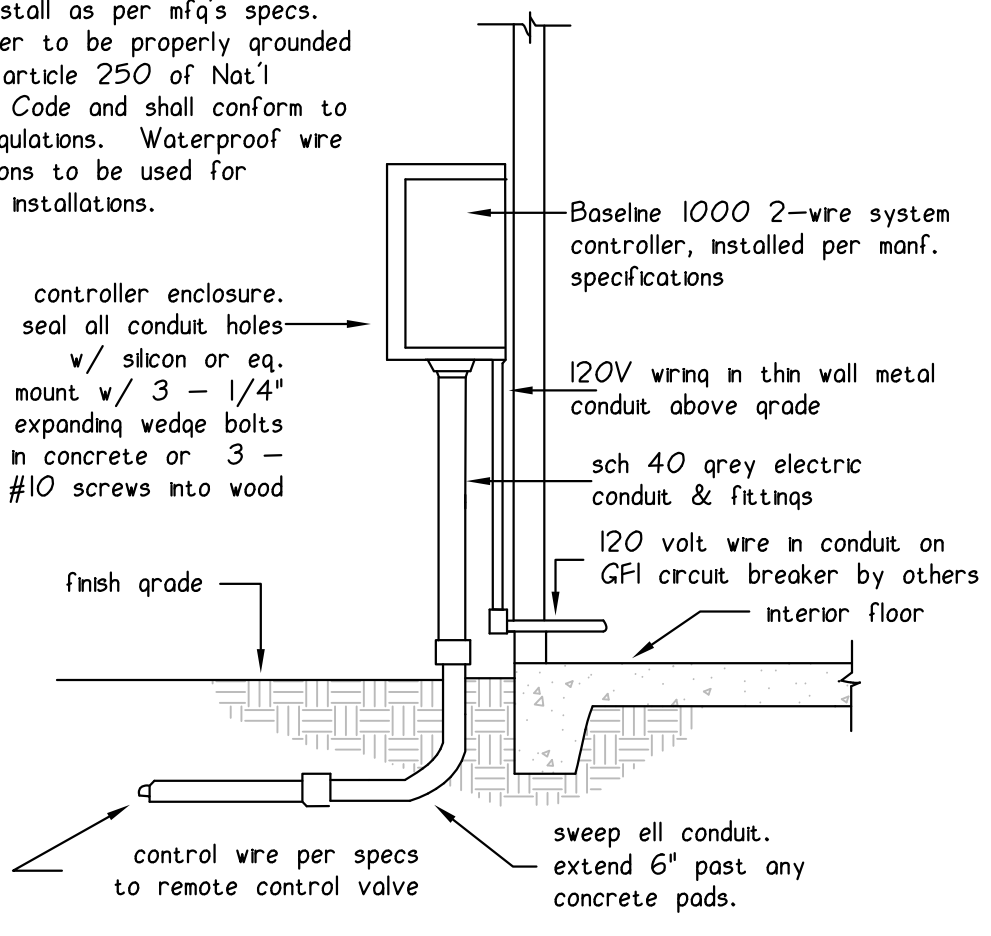
NOTE:
All fittings & exposed piping to be brass.



BACKFLOW DEVICE

NO SCALE

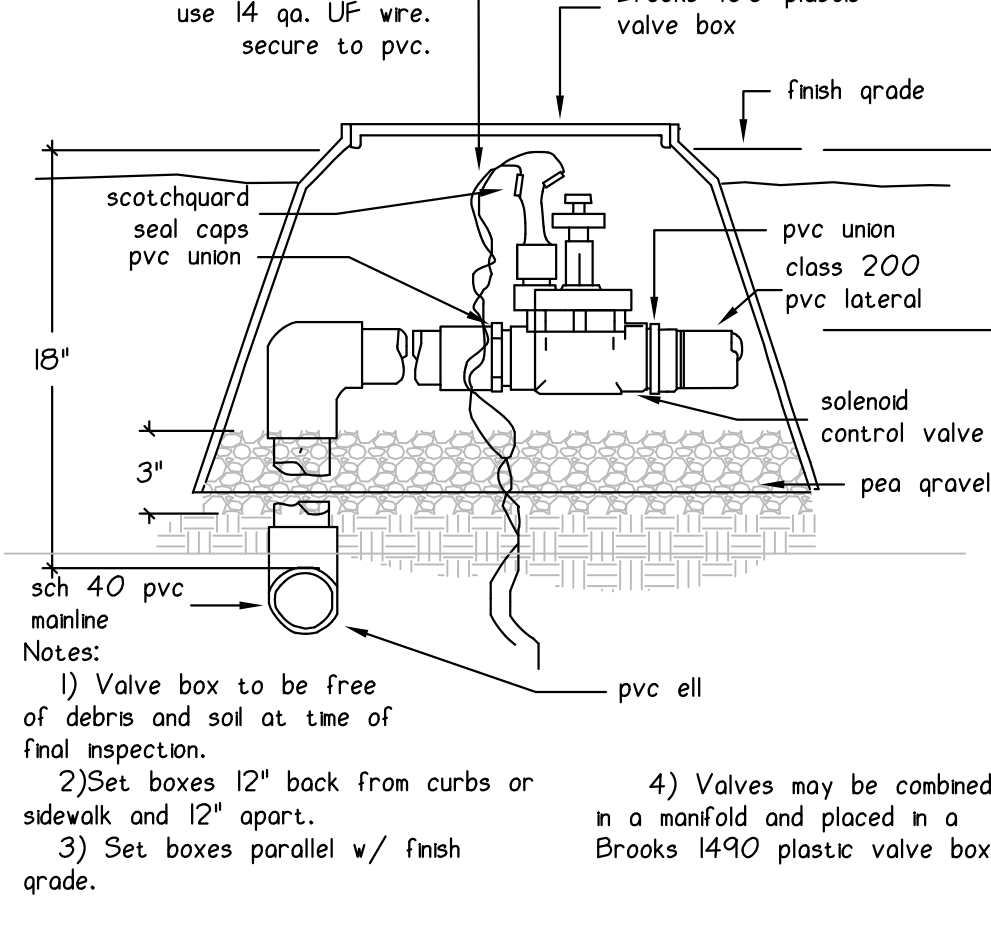
Note: Install as per mfg's specs. Controller to be properly grounded as per article 250 of Nat'l Electric Code and shall conform to local regulations. Waterproof wire connections to be used for outdoor installations.



CONTROLLER

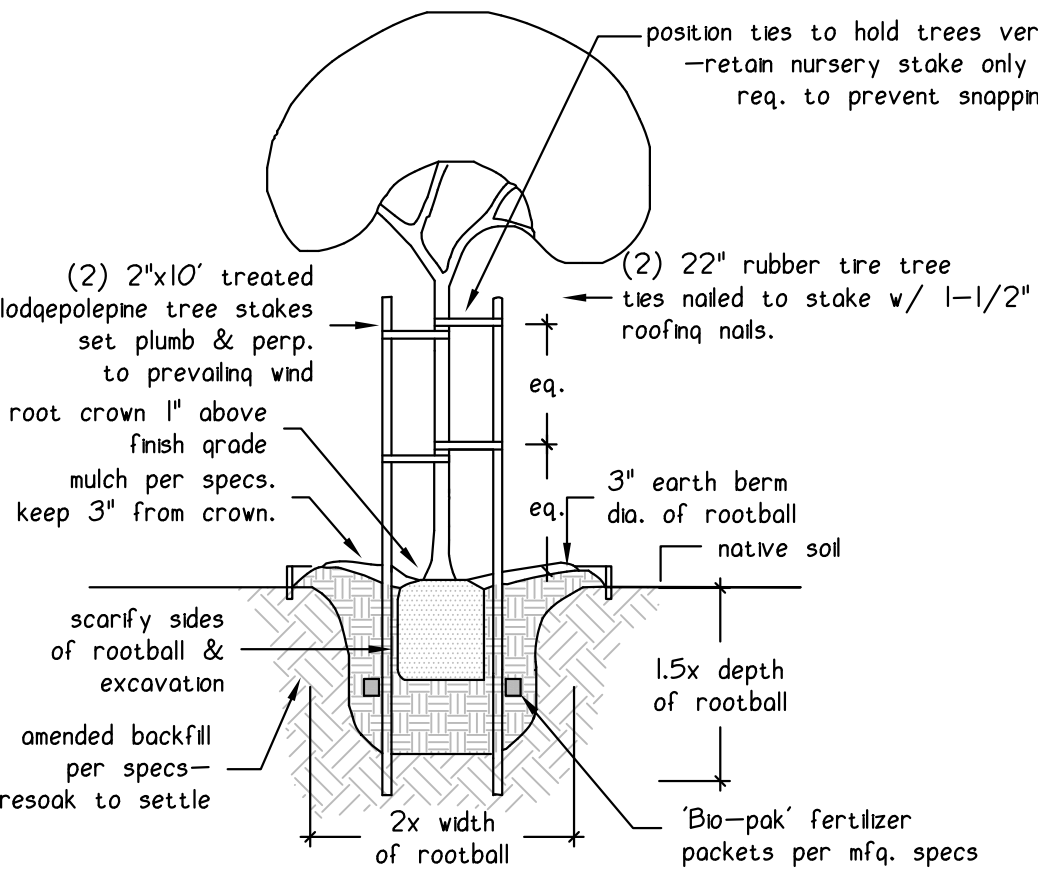
NO SCALE

irrigation control wres. provide 12 inch excess in coil. use 14 ga. UF wire. secure to pvc.



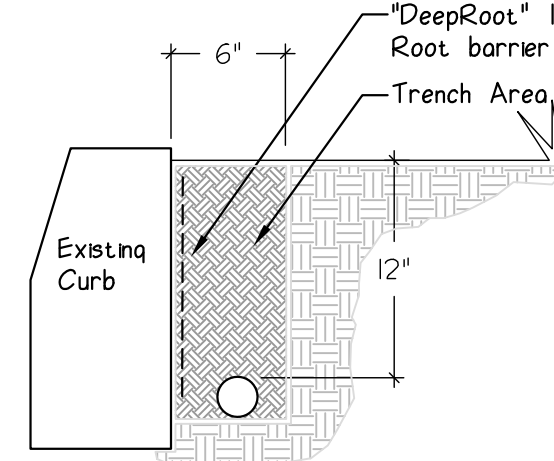
VALVE

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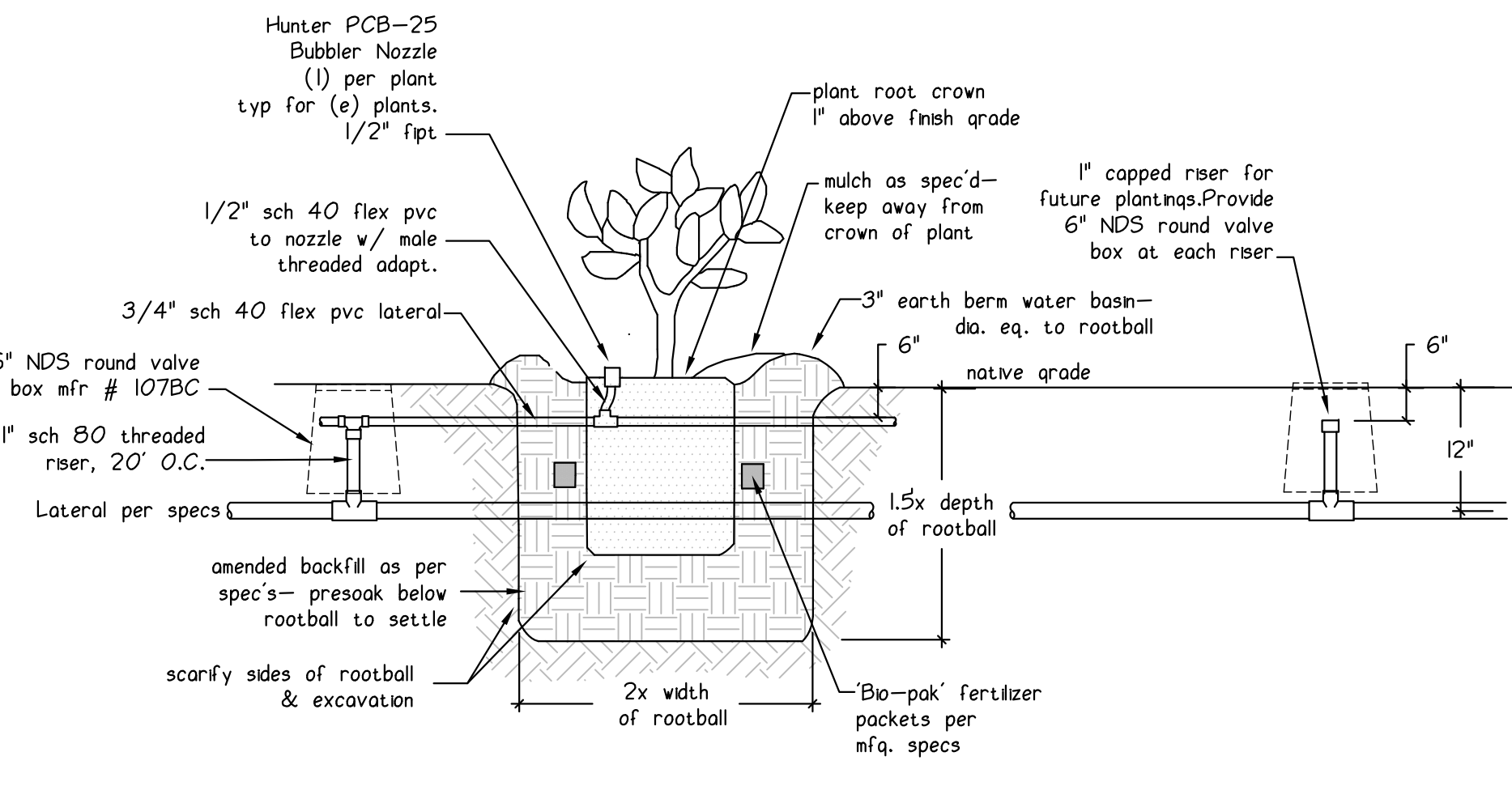
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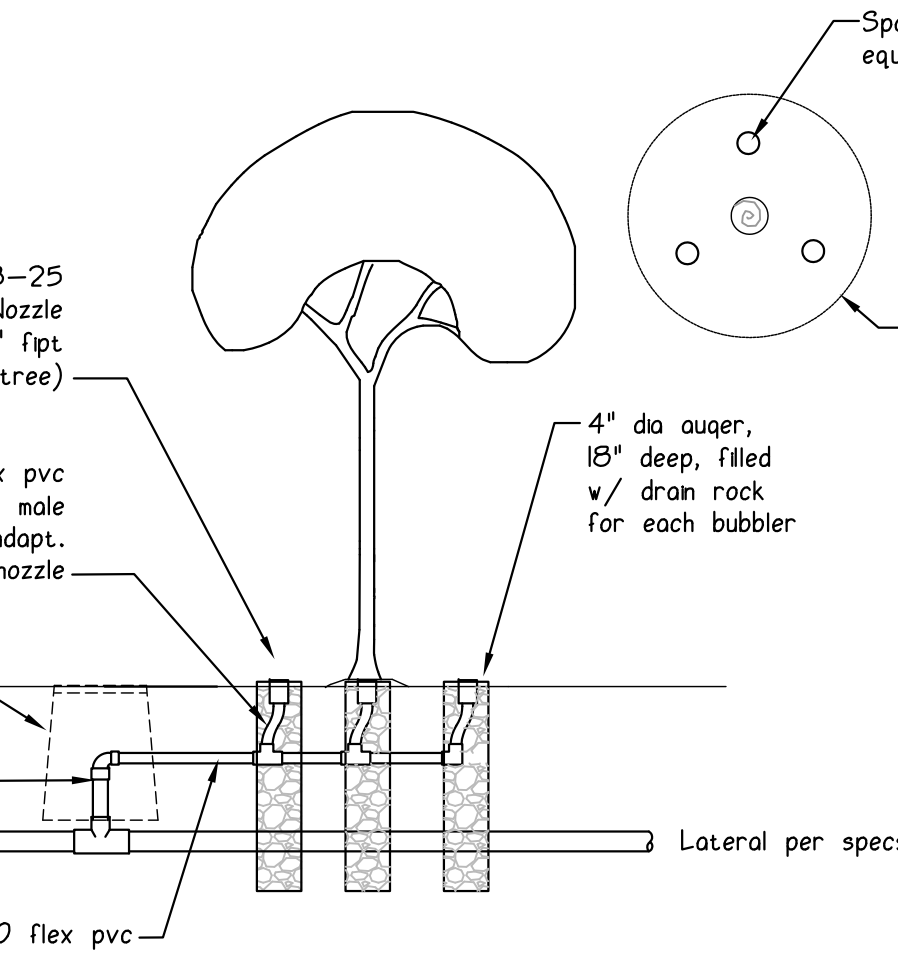
LATERAL DETAIL

NO SCALE



SHRUB PLANTING BUBBLERS

NO SCALE



TREE IRRIGATION

NO SCALE



| NO. | DATE | ISSUED FOR | BY |
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| 1 | 4-17-18 | FOR REVIEW | |

| SCALE: | DESIGNED: | DRAWN: | CHECKED: | APPROVED: | CAD REF. FILE: | LAST EDIT DATE: |
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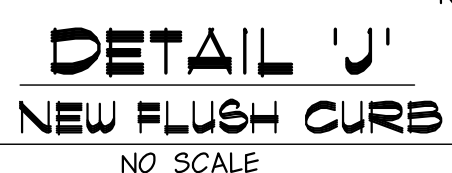
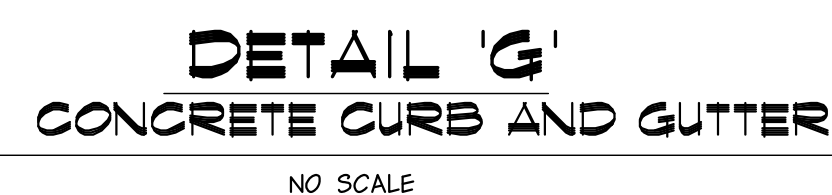
Bisnett Design Associates
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info@bisnettdesign.com
Landscape Architecture & Environmental Planning

DESERT HAVEN APARTMENTS
VICTORYVILLE, CALIFORNIA
IRRIGATION/ PLANTING SPECIFICATIONS & DETAILS

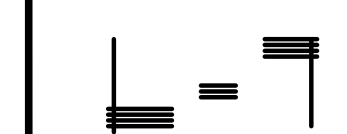
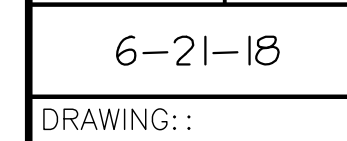
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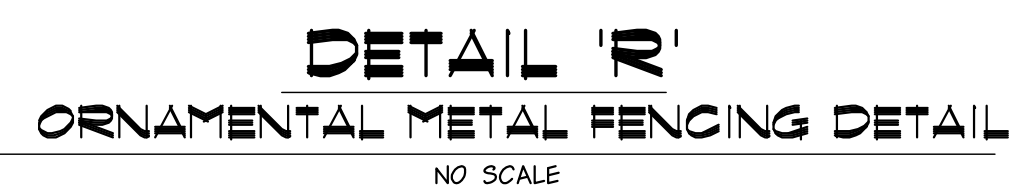
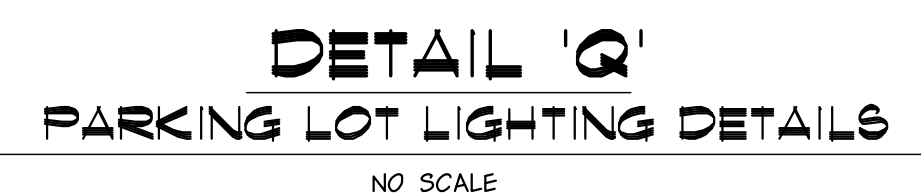
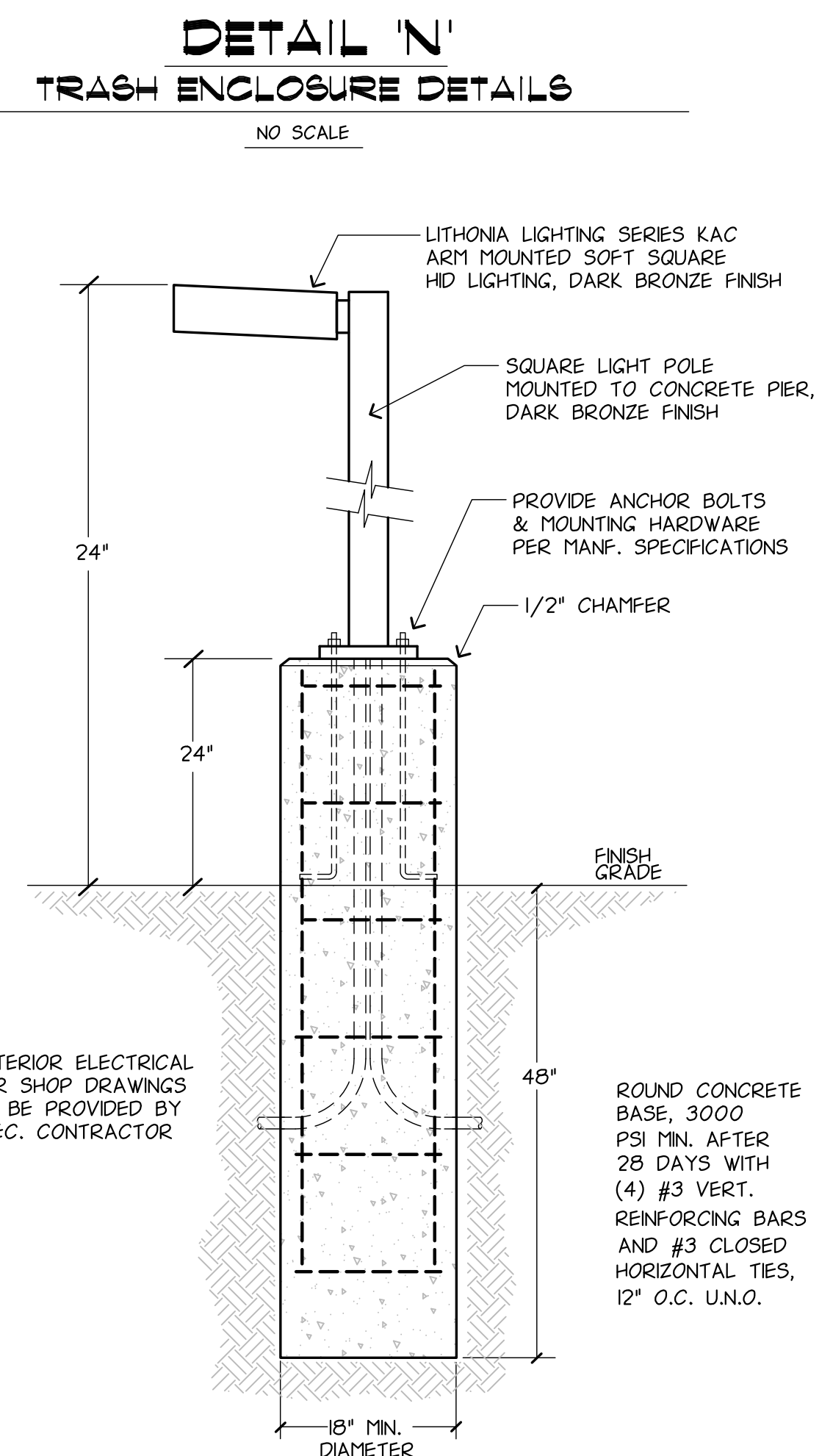
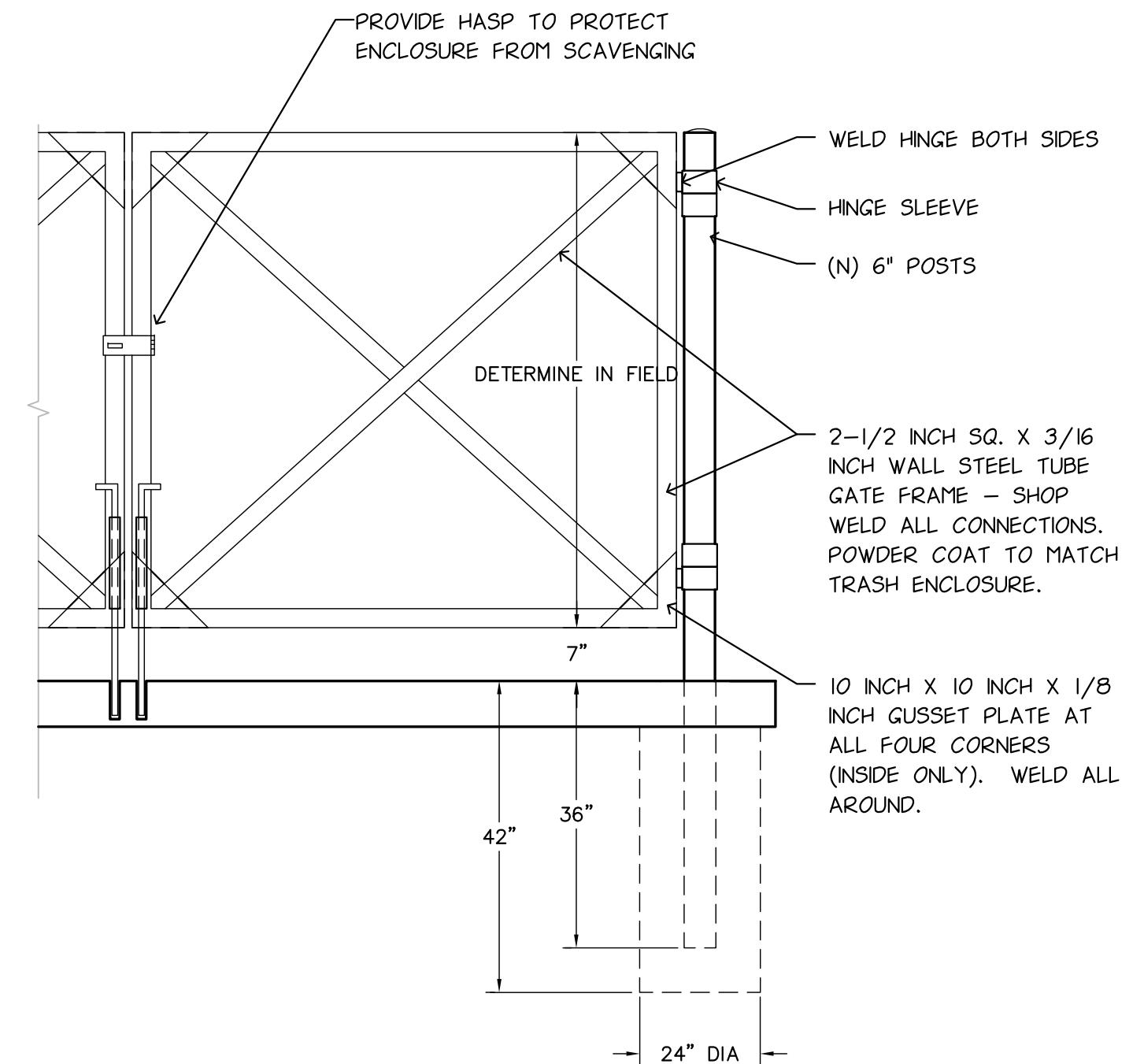
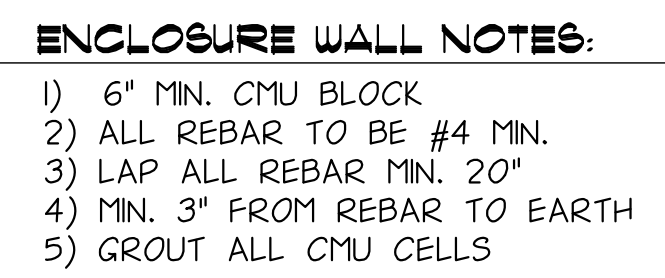
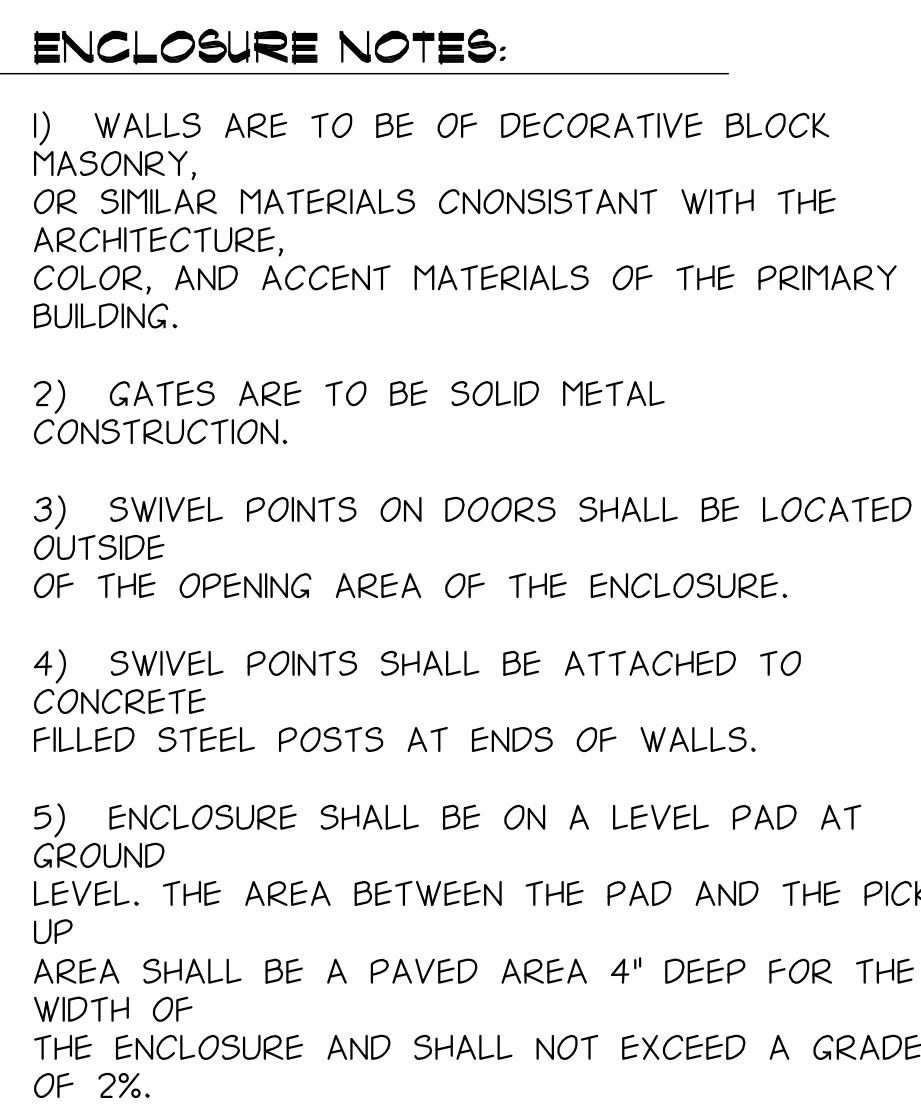



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- The image contains three technical drawings of wheelchair ramps. The top left drawing is a side elevation of a ramp with a level landing. It shows a ramp with a maximum slope of 1/4" per foot, a level landing with a width of 27" maximum, and a height of 12" typical unobstructed (UON) clearance. The top right drawing is an end view of a ramp showing a width of 34"-38" and a height of 12" typical UON clearance. The bottom left drawing is a side elevation of a ramp with a level landing, showing a width of 27" maximum and a height of 12" typical UON clearance. The bottom right drawing is an end view of a ramp showing a width of 34"-38" and a height of 12" typical UON clearance.
- LEVEL RAMP LEVEL
- 12" TYP. UON
- 27" MAX
- 12" TYP. UON
- OPTIONAL (VERSION #1) 2" CONC. CURB- BOTH SIDES
- OPTIONAL (VERSION #2) WHEEL GUIDE- BOTH SIDES
- Ø1 1/2" - 1 3/4"
- 34" - 38"
- RAMP
- 4" MIN
- 2" MIN
- 8" MIN
- VERSION #1 W/ CURB
1. LEVEL LANDING 1/4" PER FOOT MAX. SLOPE
- 1.1. THERE SHALL BE A LEVEL & CLEAR FLOOR OR LANDING ON EA. SIDE OF EXIT DOOR.
2. THE LENGTH OF LEVEL AREA IN THE DIRECTION OF DOOR SWING 60" & 44" IN THE OPPOSITE DIRECTION.
3. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR & 18" PAST THE STRIKE FOR INTERIOR DOORS.
4. USE VERSION #1 OR #2, CURBS OR WHEEL GUIDES REQUIRED, BOTH
- Ø1 1/2" - 1 3/4"
- 34" - 38"
- RAMP
- 1 1/2" x 1/2"
- WHEEL GUIDE
- VERSION #2 W/ WHEEL GUIDES



1. CURBS & CURBS AND GUTTERS SHALL BE CONSTRUCTED FROM PORTLAND CEMENT CONCRETE CONTAINING NOT LESS THAN 550 POUNDS OF TYPE II PORTLAND CEMENT PER CUBIC YARD WITH 4% AIR ENTRAINMENT AND 1" MAXIMUM AGGREGATE GRADING.
2. CONCRETE SHALL BE CURED WITH WHITE PIGMENTED CURING COMPOUND.
3. CURB AND GUTTER SHALL BE CONSTRUCTED ON MINIMUM 4" CLASS 2 AGGREGATE BASE COMPACTED TO 95% RELATIVE COMPACTION.
4. WHEN USED ADJACENT TO VEHICULAR TRAFFIC, CURB SHALL BE CONSTRUCTED ON MINIMUM 4" CLASS 2 AGGREGATE BASE COMPACTED TO 95% RELATIVE COMPACTION.
5. WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED AT 10' INTERVALS.
6. WEAKENED PLANE JOINTS SHALL BE AT LEAST 2" DEEP.
7. EXPANSION JOINTS SHALL BE CONSTRUCTED AT ALL CURB RETURNS, DRIVEWAY APPROACHES AND AT 60' INTERVALS.
8. EXPANSION JOINTS SHALL BE 1/2" WIDE AND FILLED WITH PLASTIC TYPE FILLERS.
9. IF EXISTING CURB IS TO BE REMOVED, IT SHALL BE SCORED AT LEAST 1" DEEP WITH A CONCRETE SAW PRIOR TO REMOVAL. IF THE SAWCUT LINE IS CLOSER THAN 2" TO A WEAKENED PLANE JOINT OR EXPANSION JOINT, THE CURB SHALL BE REMOVED TO THE WEAKENED PLANE JOINT OR EXPANSION JOINT.
10. GUTTER SHALL HAVE ROUGH BROOM FINISH WITH 3" SHINER AT FLOW LINE.



[illegible]

| | | |
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| DESIGNED: | | <p>NOTE</p> <p>0 1/2 1</p>  <p>BAR SHOULD MEASURE 1" OR DRAWING IS NOT TO SCALE</p> |
| DRAWN: | JRS | |
| CHECKED: | | |
| APPROVED: | | |
| CAD REF. FILE: | | LAST EDIT DATE: |

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**Blshett
Design
Associates**

Landscape Architecture & Environmental Planning


DESERT HAVEN APARTMENTS

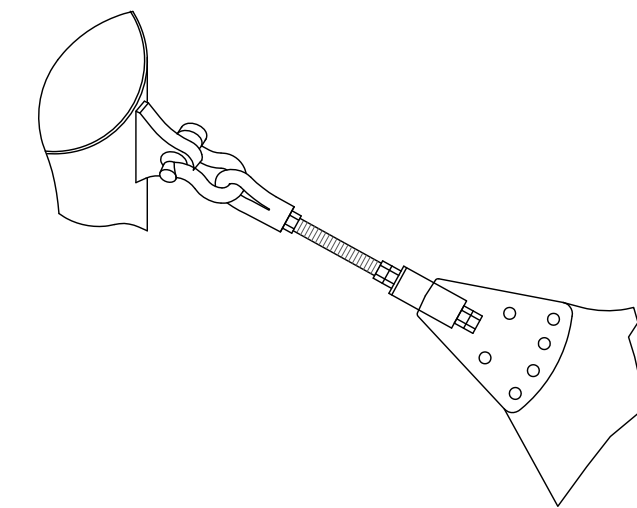
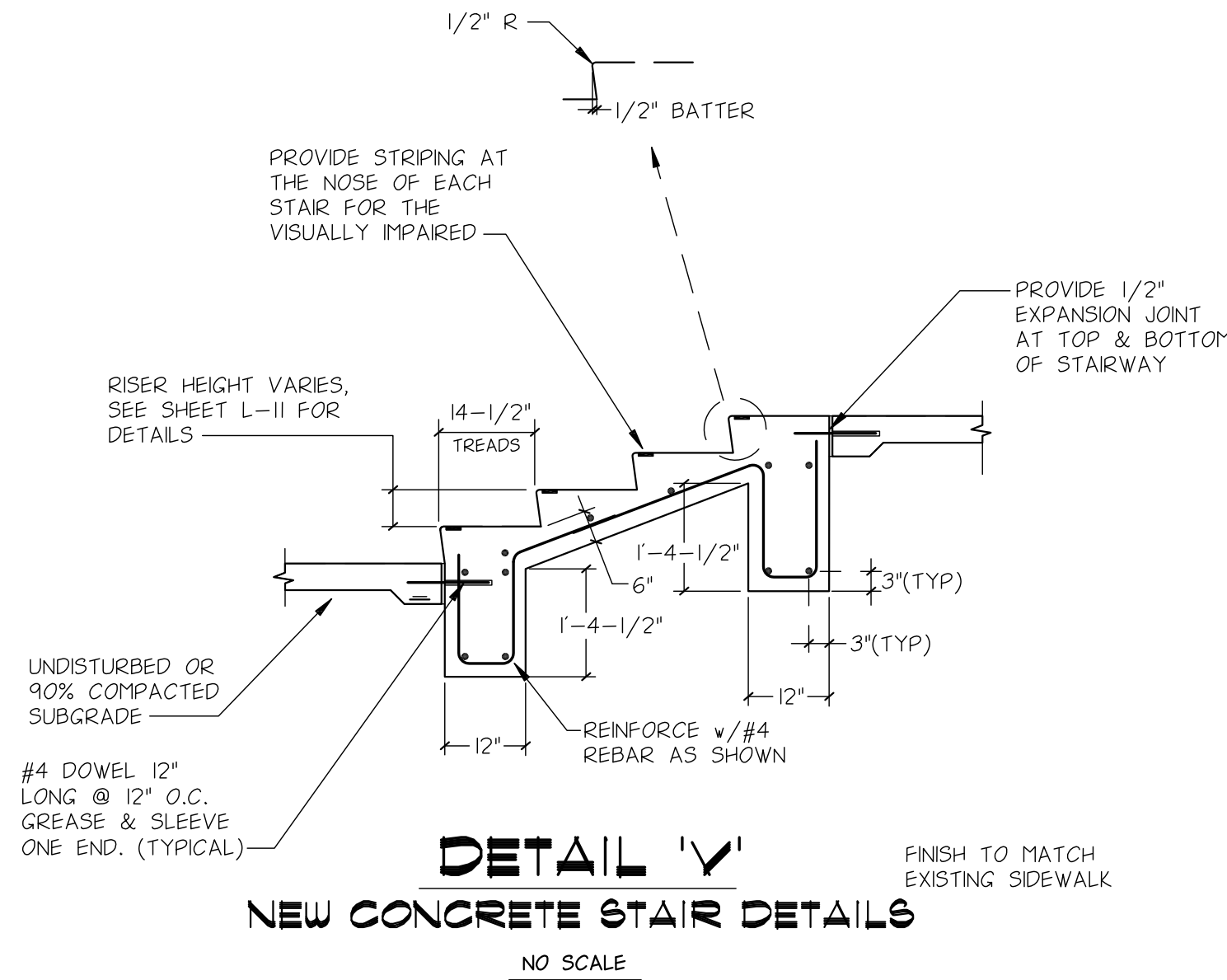
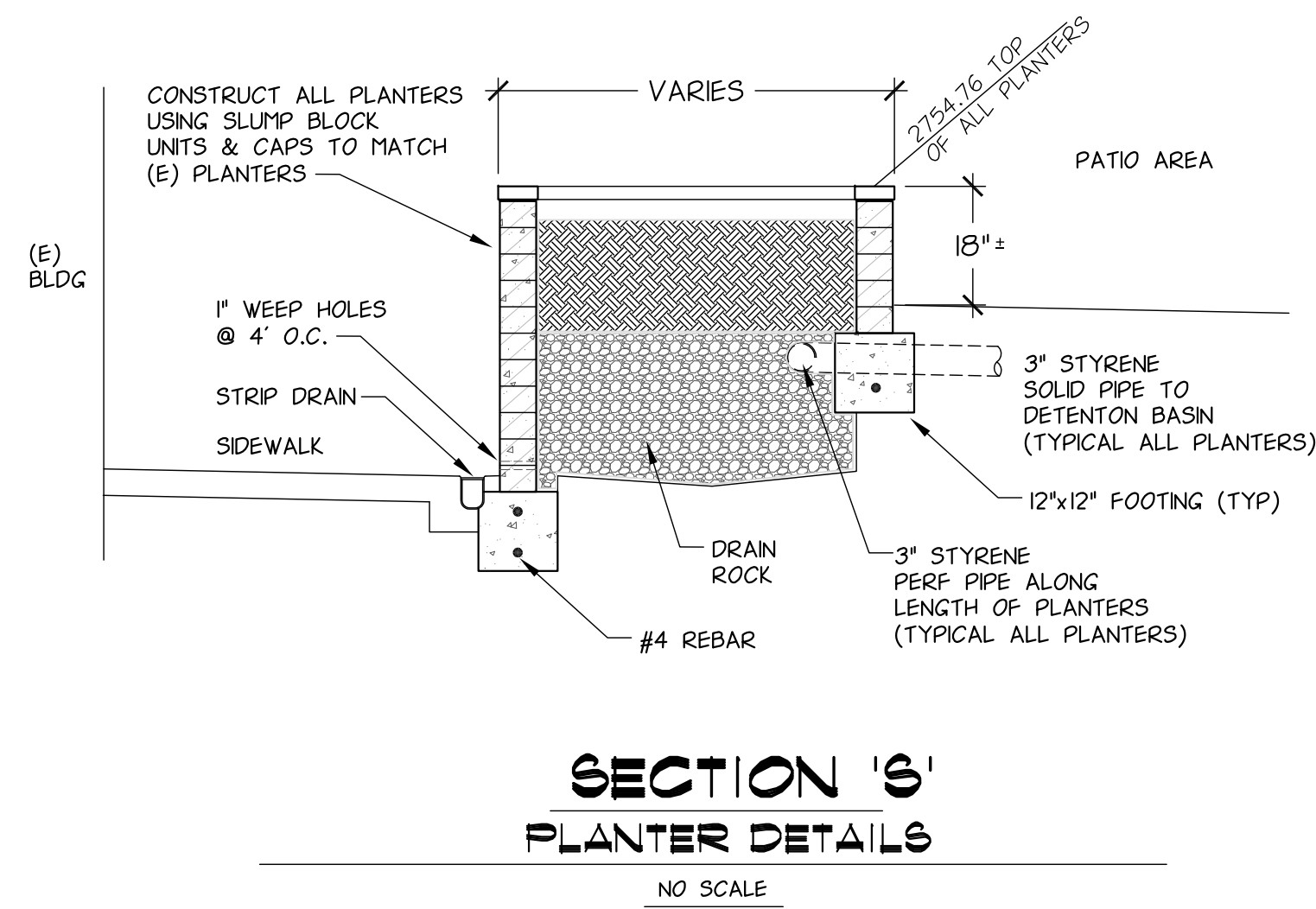
VICTORVILLE, CALIFORNIA

CONSTRUCTION DETAILS

6-21-18

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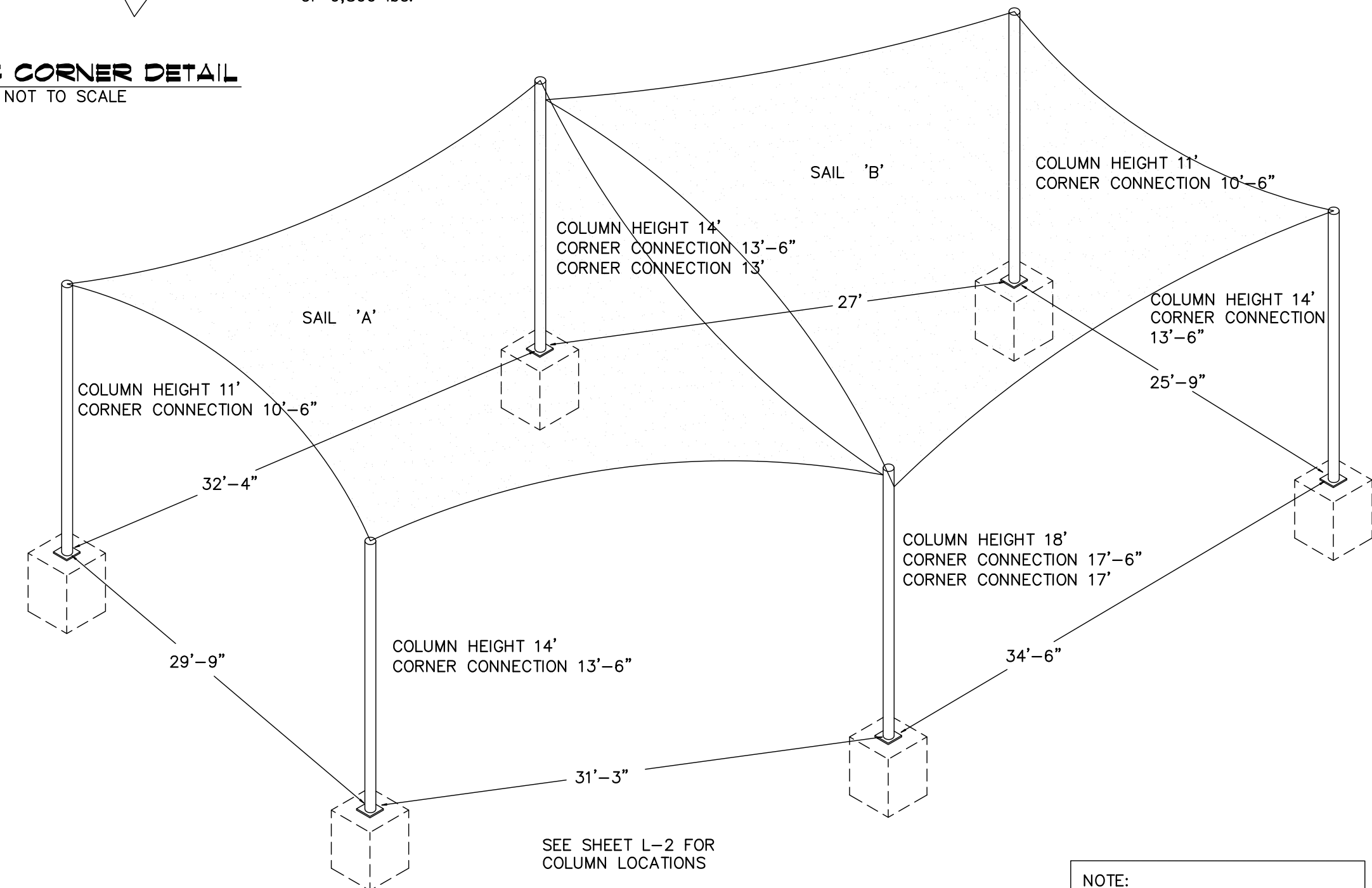




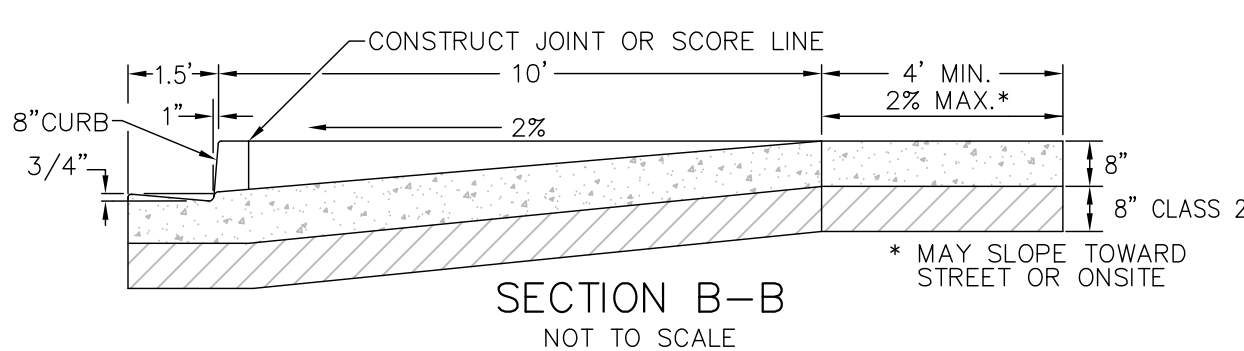
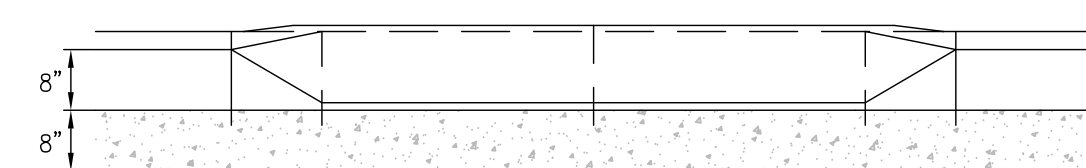
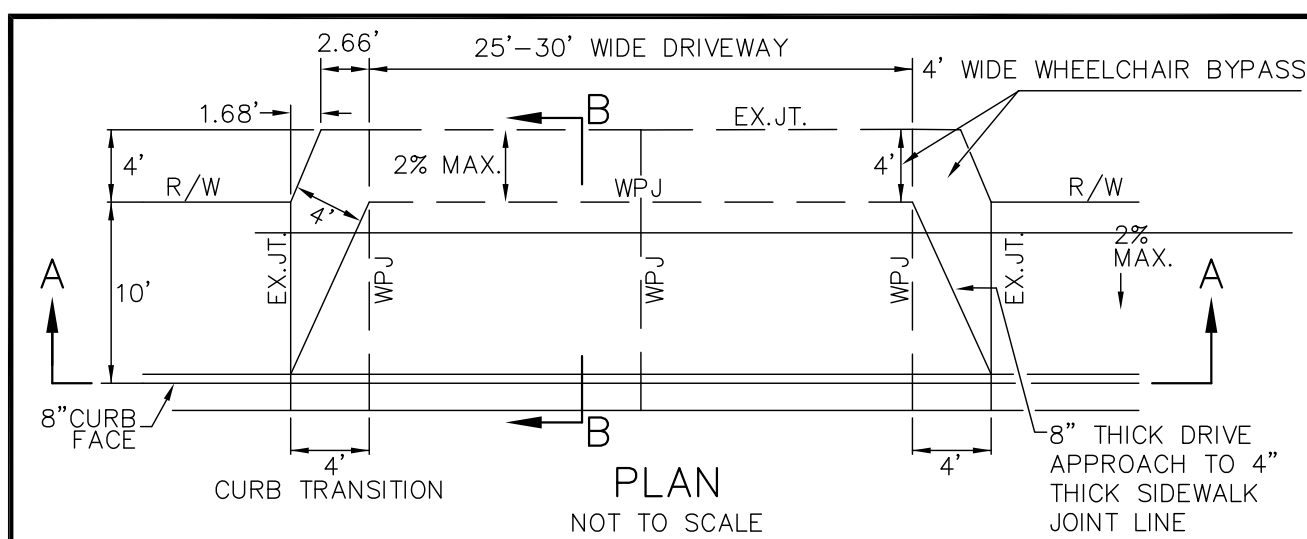
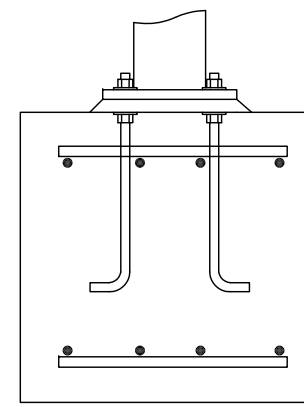
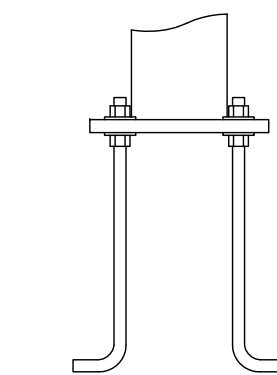
OWNER NOTES:
OWNER ACCEPTS FULL RESPONSIBILITY OF REMOVING THE FABRIC FROM THE STEEL FRAME WHEN SEVERE WEATHER CONDITION WARNINGS OF GUSTS EXCEEDING 85 MPH PERSIST. THIS ALSO APPLIES WHEN TORNADO OR HURRICANE WATCHES/ WARNINGS ARE FORECASTED BY THE NATIONAL OR LOCAL WEATHER AUTHORITIES.

GENERAL NOTES:
-STRUCTURES ARE DESIGNED PER LATEST SREF, CALIFORNIA BUILDING CODE 2007 AND ASCE 7-05
-THE TUBULAR PIPE COLUMNS ARE DESIGNED FOR A MAXIMUM WIND SPEED OF 150 MPH WITHOUT FABRIC ATTACHED, 85 MPH WITH FABRIC.
-KNITTED FABRIC MEETS NFPA 701-04 METHOD 2, ASTM E84-06
-THE STRUCTURE IS TENSILE
-ALL EXPOSED STEEL TO BE POWDER COATED.
-DRAWINGS ARE PRELIMINARY. SPECIFICATIONS TO BE PER ENGINEERED SHOP DRAWINGS TO BE PROVIDED BY EQUIPMENT SUPPLIER

MATERIAL NOTES:
-CONCRETE: 2,500 PSI
-BAR REINFORCEMENT SHALL CONFORM TO ASTM-A615, GRADE 60.
-FOOTER TO BE POURED IN UNDISTURBED SOIL.
-FOOTING SIZE BASED ON 2,000 lbs/s.f. SOIL BEARING CAPACITY.
-ANCHOR BOLTS SHALL CONFORM TO ASTM A-307.
-ALL NON HOLLOW STRUCTURAL STEEL PLATES COMPLY WITH ASTM-A36.
-ALL HOLLOW STRUCTURAL STEEL TUBE & PIPE SHALL COMPLY WITH ASTM-A53
-5/16" STAINLESS STEEL AIRCRAFT CABLE SHALL HAVE A NOMINAL STRENGTH OF 9,800 lbs.



NOTE:
COLUMN & FOOTING DIMENSIONS TO BE PER ENGINEERED SHOP DRAWINGS PROVIDED BY EQUIPMENT SUPPLIER

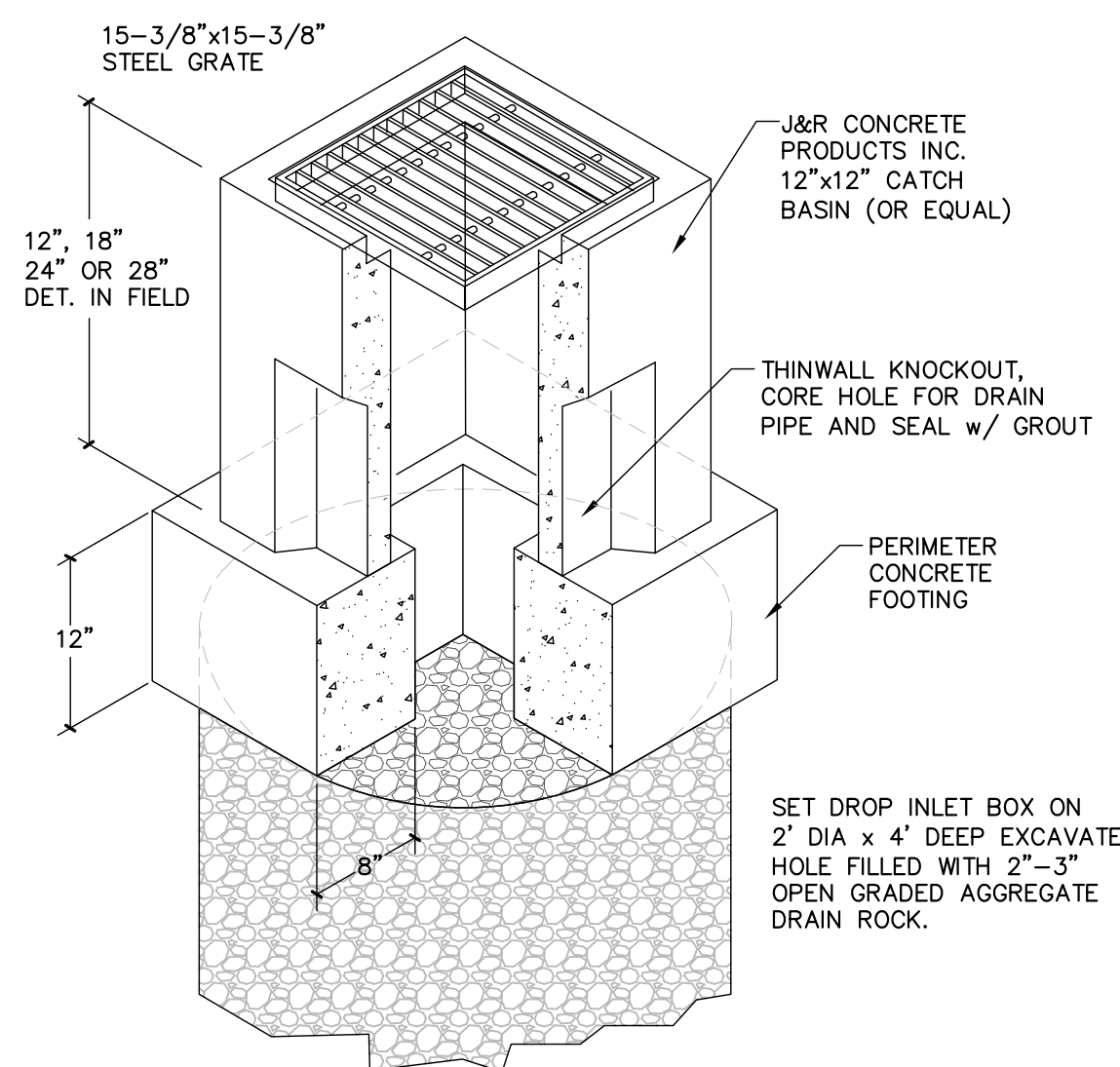
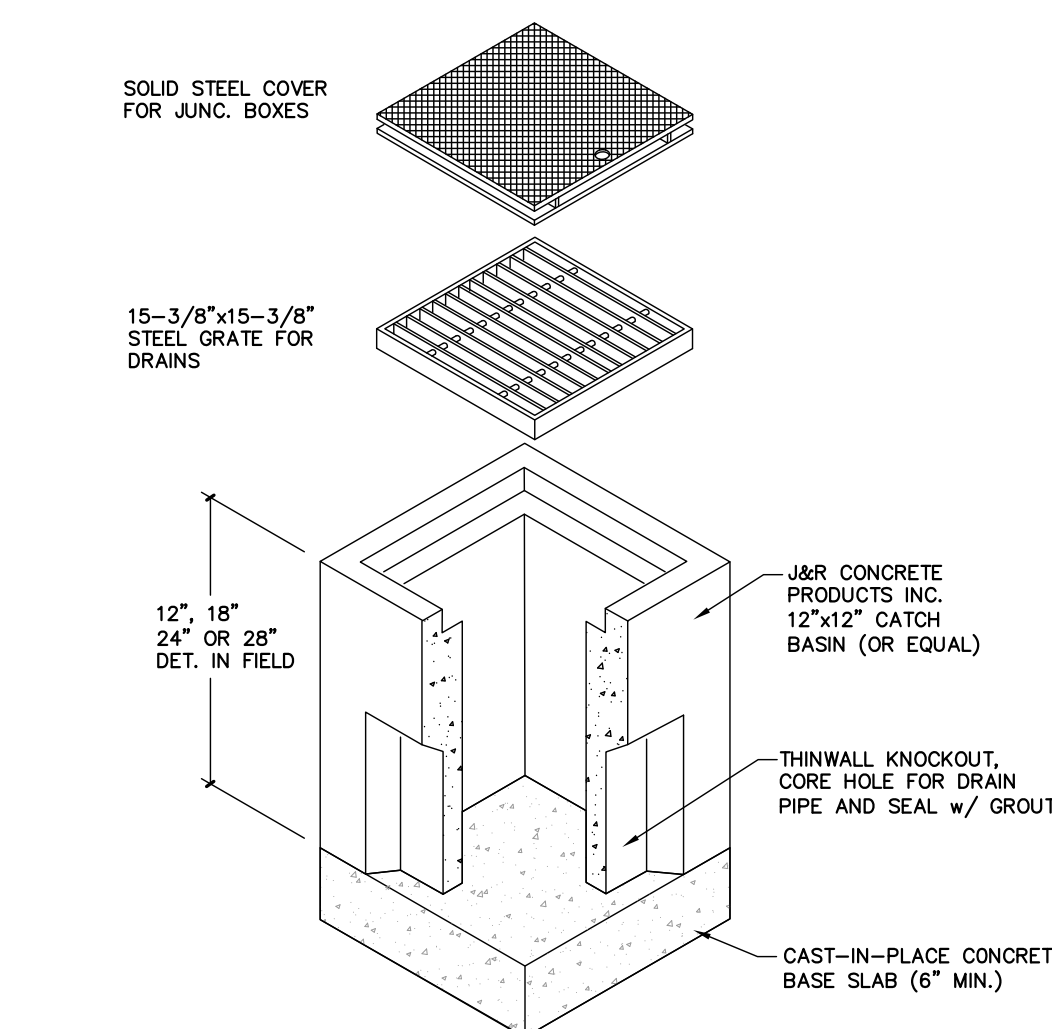


NOTES:

- COMMERCIAL DRIVE APPROACH SHALL BE CONSTRUCTED FROM PORTLAND CEMENT CONCRETE CONTAINING NOT LESS THAN 550 POUNDS OF TYPE II PORTLAND CEMENT PER CUBIC YARD WITH 4% AIR ENTRAINMENT AND 1" MAXIMUM AGGREGATE GRADING.
- CONCRETE SHALL BE CURED WITH WHITE PIGMENTED CURING COMPOUND.
- COMMERCIAL DRIVE APPROACH SHALL BE CONSTRUCTED ON MINIMUM 8" CLASS 2 AGGREGATE BASE COMPACTED TO 95% RELATIVE COMPACTION.
- WEAKENED PLANE JOINTS SHALL BE AT LEAST 2" DEEP.
- EXPANSION JOINTS SHALL BE CONSTRUCTED AT BOTH ENDS OF DRIVEWAY APPROACHES.
- EXPANSION JOINTS SHALL BE 1/2" WIDE AND FILLED WITH PLASTIC TYPE FILLERS.
- COMMERCIAL DRIVE APPROACH SHALL BE MEDIUM BROOM FINISH.

| REV. | DATE | BY | CITY OF VICTORVILLE - ENGINEERING DEPARTMENT | SHEET |
|------|----------|-------|--|--------------|
| 1 | 6/1/07 | STAFF | STANDARD COMMERCIAL DRIVE APPROACH (TYPE 1) | S-03 |
| 2 | 11/20/08 | STAFF | JOHN A. McGLADE, CITY ENGINEER | SHEET 1 OF 3 |

DETAIL 'W'
DRIVE APPROACH ON STODDARD WELLS
NO SCALE

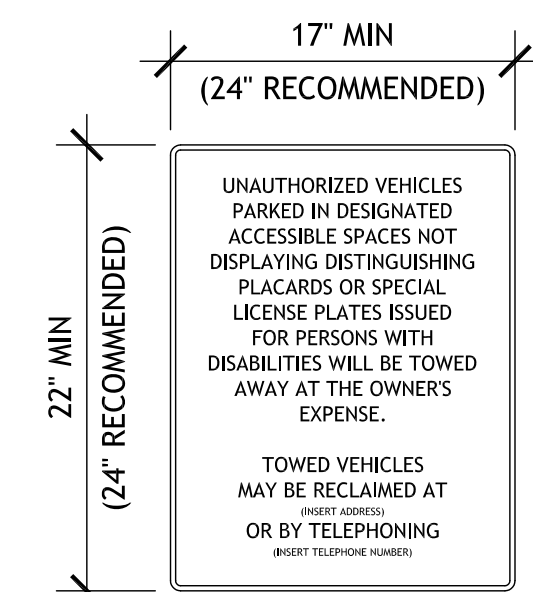


UNAUTHORIZED VEHICLE WARNING SIGN (CA ONLY)

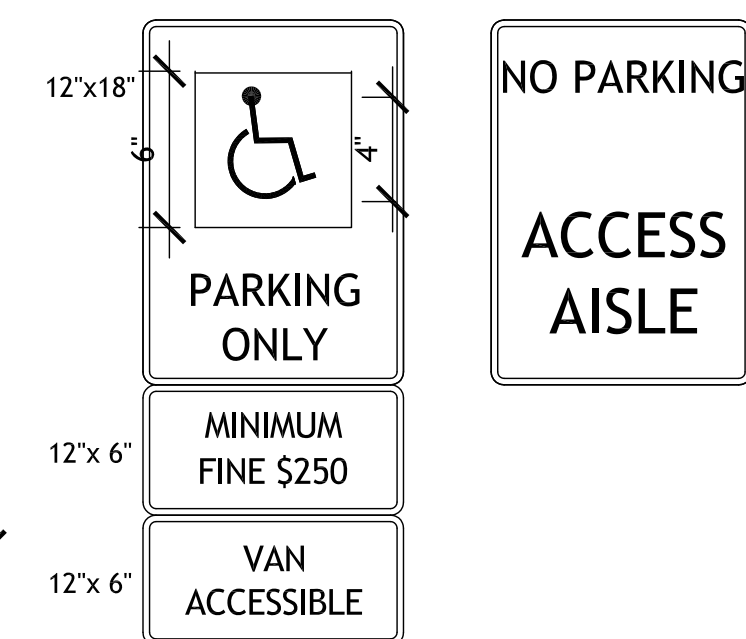
- SIGN IS TO BE POSTED AT EACH ENTRANCE TO THE OFF-STREET PARKING FACILITIES, OR POSTED AT EACH ACCESSIBLE PARKING STALL.
- THE PHONE NUMBER AND ADDRESS WHERE TOWED VEHICLES CAN BE RECLAIMED IS POSTED AND A PERMANENT PART OF THE SIGN.
- LETTERS MUST BE 1" MIN IN HEIGHT.
- SIGN IS NOT LESS THAN 17" BY 22".

PARKING SPACE SIGNAGE

- POST SIGNAGE AT EACH ACCESSIBLE SPACE.
- AREA OF SIGN IS NOT SMALLER THAN 70 SQUARE INCHES.
- WHEN POSTED IN A PATH OF TRAVEL, BOTTOM OF SIGN IS 80" MIN FROM FINISHED GRADE.
- POST ADDITIONAL SIGN AT VAN ACCESSIBLE SPACES STATING "VAN ACCESSIBLE" BELOW SYMBOL OF ACCESSIBILITY.
- REFLECTORIZED SIGN CONSTRUCTED OF PORCELAIN STEEL WITH BEADED TEXT OR EQUAL.
- SIGN TO BE CENTERED AT THE INTERIOR END OF THE PARKING SPACE.
- TEXT AND ACCESSIBILITY SYMBOL TO BE WHITE ON DARK BLUE BACKGROUND.
- POST ADDITIONAL SIGN STATING "MINIMUM FINE \$250" BELOW THE SYMBOL OF ACCESSIBILITY FOR ALL CALIFORNIA PROJECTS.



UNAUTHORIZED VEHICLE SIGN (NOTE: CA ONLY)



MOUNT BOTTOM 60" ABOVE GRADE MINIMUM
EXCEPTION: WITHIN ACCESSIBLE ROUTE AT 80" ABOVE GRADE

DETAIL 'Z'
ADA SIGNS AT PARKING AREAS
NO SCALE



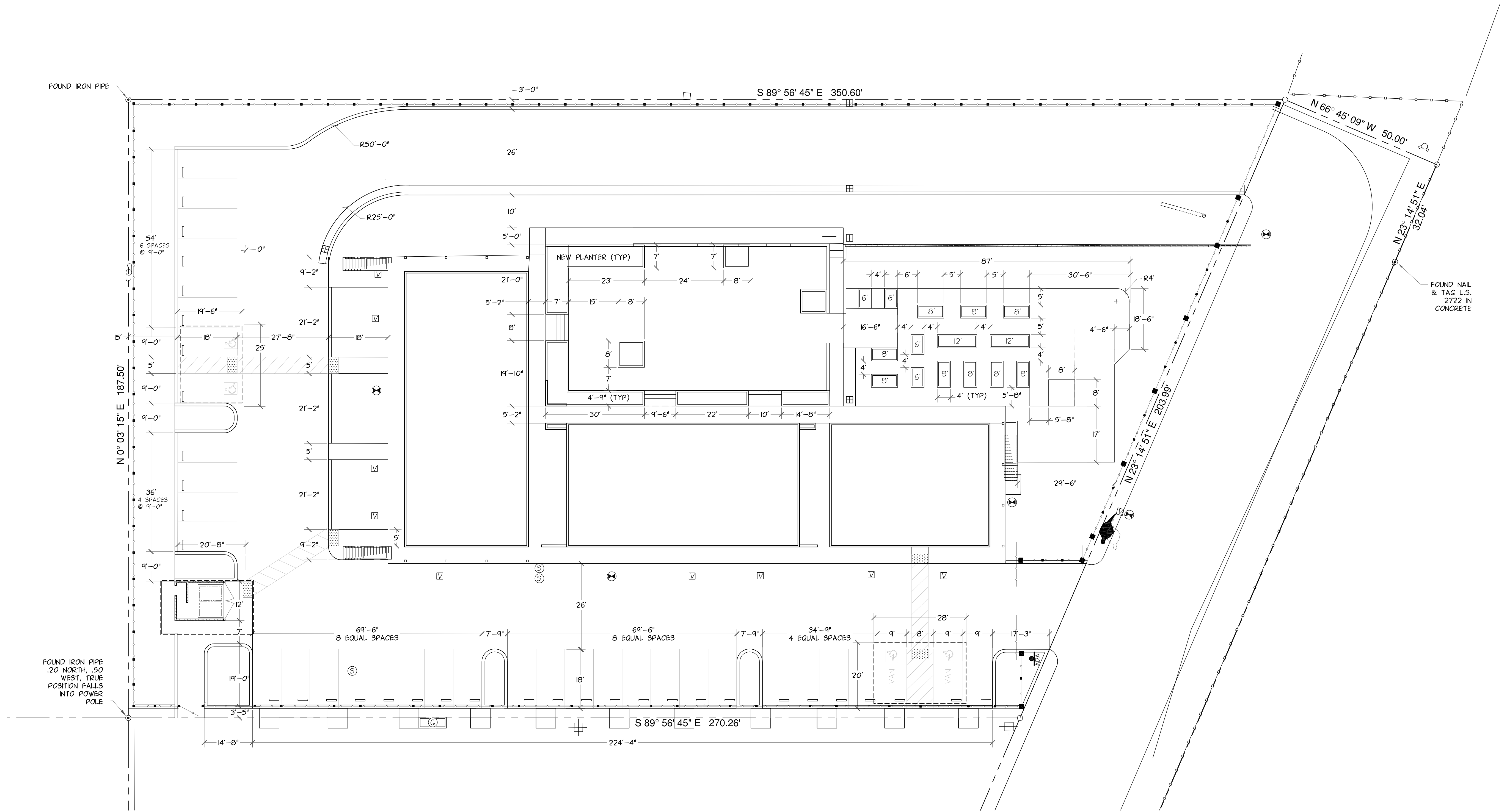
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| 1 | 4-17-18 | FOR REVIEW |
| 2 | | ISSUED FOR |

| SCALE: | DESIGNED: | DRAWN: | CHECKED: | APPROVED: | CAD REF. FILE: |
|--------|-----------|--------|----------|-----------|----------------|
| | JRS | | | | |

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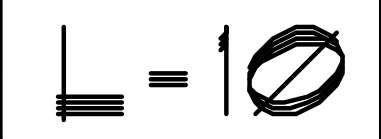
DESERT HAVEN APARTMENTS
VICTORVILLE, CALIFORNIA
CONSTRUCTION DETAILS

6-21-18
DRAWING: 1-10



DESERT HAVEN APARTMENTS
VICTORVILLE, CALIFORNIA
HORIZONTAL CONTROL PLAN

6-21-18
DRAWING: :

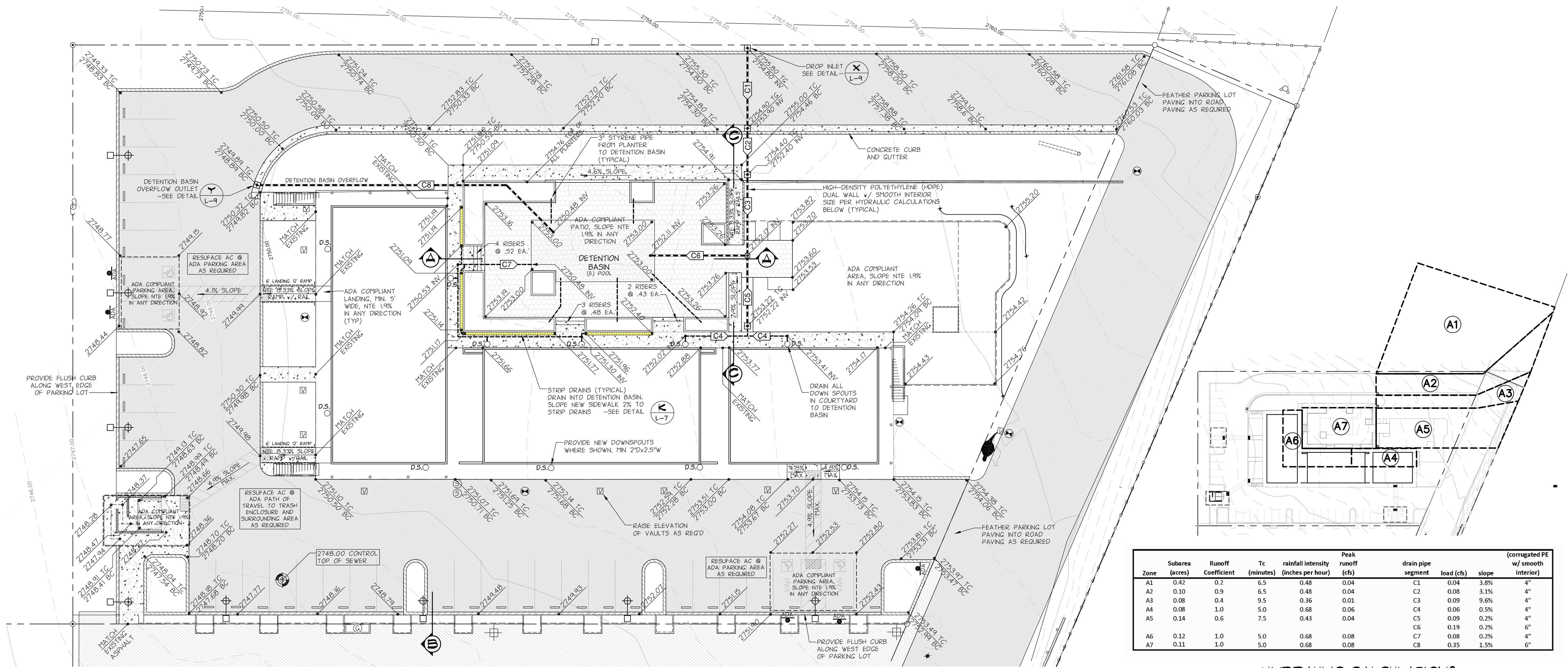


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Landscape Architecture & Environmental Planning

SCALE: DESIGNED: JPS
DRAWN: JPS
CHECKED: JPS
APPROVED: JPS
CAD REF. FILE:
LAST EDIT DATE:
NO. DATE FOR REVIEW ISSUED FOR BY

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| Zone | Subarea (acres) | Runoff Coefficient | Tc (minutes) | rainfall intensity (inches per hour) | Peak runoff (cfs) | drain pipe segment | load (cfs) | slope | (corrugated PE w/ smooth interior) |
|------|-----------------|--------------------|--------------|--------------------------------------|-------------------|--------------------|------------|-------|------------------------------------|
| A1 | 0.42 | 0.2 | 6.5 | 0.48 | 0.04 | C1 | 0.04 | 3.8% | 4" |
| A2 | 0.10 | 0.9 | 6.5 | 0.48 | 0.04 | C2 | 0.08 | 3.1% | 4" |
| A3 | 0.08 | 0.4 | 9.5 | 0.36 | 0.01 | C3 | 0.09 | 9.6% | 4" |
| A4 | 0.08 | 1.0 | 5.0 | 0.68 | 0.06 | C4 | 0.06 | 0.5% | 4" |
| A5 | 0.14 | 0.6 | 7.5 | 0.43 | 0.04 | C5 | 0.09 | 0.2% | 4" |
| A6 | 0.12 | 1.0 | 5.0 | 0.68 | 0.08 | C6 | 0.19 | 0.2% | 6" |
| A7 | 0.11 | 1.0 | 5.0 | 0.68 | 0.08 | C8 | 0.35 | 1.5% | 6" |

HYDRAULIC CALCULATIONS

- CITY OF VICTORVILLE GRADING IMPROVEMENTS GENERAL NOTES
- Grading shall conform to Article 2 of Chapter 5 of Title 16 of the City of Victorville Municipal Code.
 - A Grading Permit shall be obtained from the City of Victorville Building Department prior to the start of grading work.
 - Contractor shall give the City of Victorville Building Department at least 2 working days notice to schedule a pre-construction meeting with the inspector prior to the start of work.
 - The contractor shall notify Underground Service Alert at 1 (800) 422-4133 at least 2 working days in advance of starting work.
 - It shall be the contractor's responsibility to familiarize himself/herself with site conditions and of any underground utilities shown or not shown on these plans.
 - The contractor shall give the City of Victorville Building Department at least 1 working day notice prior to all inspections at (760) 955-5103. A re-inspection fee will be rendered on each occasion when the contractor is not ready for the inspection at the scheduled time. No further inspections will be performed until said re-inspection fee is paid.
 - It shall be the contractor's responsibility to protect survey monuments in place and the contractor shall be financially responsible for resetting damaged or destroyed monuments.
 - No grading shall commence prior to 7:00 a.m. each working day.
 - Dust control shall include:
 - Provisions for continuous watering during grading operations including a 24-hour on call operator or as directed by City Staff.
 - Upon completion of the project, the entire site is to be stabilized by treating with magnesium chloride or other approved method and as approved by City Staff.
 - Clear all cut and fill areas of vegetation and organic materials to a depth of six (6) inches or more.
 - Fill shall be placed in lifts of eight (8) inches or less and sufficient moisture added and material compacted to achieve the required percent of compaction.
 - No rocks greater than six (6) inches in diameter may be placed in fill.
 - Compaction shall be a minimum of ninety percent (90%).
 - Minimum slope for all graded areas shall be one percent (1.00%) unless on smooth PCC, then the minimum slope shall be one-half percent (0.50%).
 - Maximum slopes shall be 2:1. Slope stabilization shall be provided on all slopes in accordance with Article 2 of Chapter 5 of Title 16 of the City of Victorville Municipal Code.
 - All off-site improvements shall be constructed to City of Victorville Standards.
 - All fences and walls are under separate permit.
 - Retaining walls shall be constructed to City of Victorville Standards or wall calculations submitted to the Building Department for City approval.
 - Building pad and grading plan certification shall be completed by a licensed engineer in accordance with Article 2 of Chapter 5 of Title 16 of the City of Victorville Municipal Code.
 - The maximum allowable foundation bearing pressure shall be 1500 psi unless approved by the City of Victorville Building Department.
 - The contractor shall comply with the Grading Ordinance Section 16-5.02.060 and Section 16-5.02.070 of the City of Victorville Municipal Code as it relates to borrow pits, export sites and haul routes prior to issuance of a grading permit.
 - A Paleontological Monitor must be present during all phases of grading when required by City Staff.
 - Approximate Quantities:

Cut _____ 30.5 _____ cu. yds.

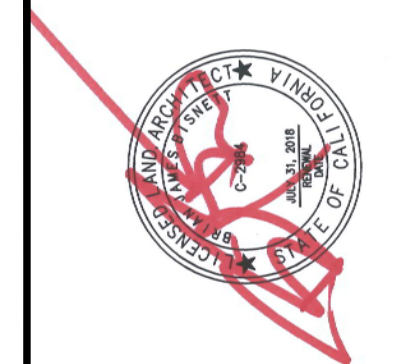
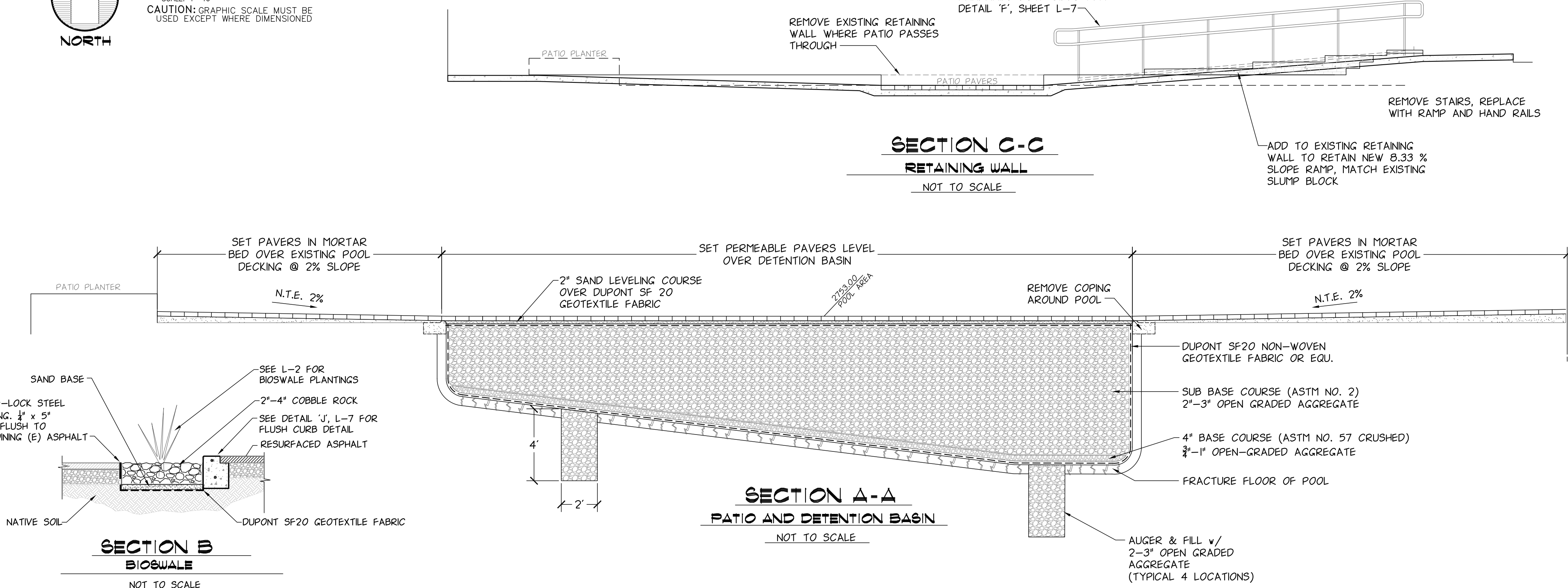
Fill _____ cu. yds.

Shrinkage _____ %

24. Construction activities of one (1) acre or more shall require a General Construction Storm Water Permit. For more information, you may call the State Water Resources Control Board -Division of Water Quality at (916) 657-1146.



16 8 0 16
SCALE: 1"=16'
CAUTION: GRAPHIC SCALE MUST BE USED EXCEPT WHERE DIMENSIONED



| NO. | DATE | FOR REVIEW | ISSUED FOR | BY |
|-----|---------|------------|------------|----|
| 1 | 4-17-18 | | | |

| DESIGNED: | JRS |
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| DRAWN: | JRS |
| CHECKED: | |
| APPROVED: | |
| CAD REF. FILE: | |

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Landscape Architecture & Environmental Planning

DESERT HAVEN APARTMENTS
VICTORVILLE, CALIFORNIA
GRADING & DRAINAGE PLAN

6-21-18

DRAWING: :

1" = 11'

A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 THRU APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.

2. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.

3. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE SITE TO THE SLOPE TO THE CONCLUSION OF EACH WORKING DAY. LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL IMPACT TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE TO PREVENT DAMAGE TO ADJACENT PROPERTIES AND OTHER POLLUTANTS ON SITE. PREVENTION OF OTHER INTERFERING SURFACES INTO ANY STORMWATER CONVEYANCE (UNLESS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL), STORM DRAIN INLET, OR SURFACE WATER.

4. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.

5. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS 18 INCHES. DRAINAGE OR PUMPED DRY DRAINAGE SHALL BE COMPLETED WITHIN EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP OF RAIL DRAINAGE OPERATIONS.

6. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO PREVENT EROSION AND OTHER POLLUTANTS ON SITE.

7. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.

8. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES, THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.

9. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF THE NON-STORM WATER FROM THE PROJECT SITE AT ALL TIMES.

10. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.

11. STOCKPILE OR EARTH OR OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY FORCE OF WIND OR WATER.

12. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTED AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

13. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF A SOLID WASTE.

14. DEVELOPER/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% ACTUAL PRECIPITATION. A CONSTRUCTION SITE EROSION CONTROL CHECKLIST AND PRELIMINARY STABILIZATION SO AS TO INHIBIT SEDIMENT FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

15. ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

17. EROSION CONTROL FACILITIES AND MEASURES ARE TO BE INSTALLED AND OPERABLE AT ALL TIMES DURING CONSTRUCTION.

18. CHANGES TO THE EROSION CONTROL MEASURES INDICATED ON THESE PLANS AND DESCRIBED HEREIN TO ACCOMMODATE FIELD CONDITIONS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF, OR AT THE DIRECTION OF THE STATE REPRESENTATIVE.

19. EARTHEN BERMS AND STRAW BALE DIKES OR GEOTEXTILE FABRIC BARRIER SHALL BE CONSTRUCTED TO PREVENT OFF-FLow OR SILTATION FROM THE PROJECT SITE. THE BERMS AND DIKES SHALL BE MAINTAINED IN PLACE UNTIL THE CONCLUSION OF THE SITE PAVING.

20. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT- LADEN RUNOFF FROM ENTERING THE STORM DRAINAGE SYSTEM OR ADJACENT PROPERTIES.

21. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS THERETO PRIOR TO ANTICIPATED STORMS AND SHALL PERIODICALLY INSPECT THE SITE AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE REPAIRED IMMEDIATELY.

22. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED DURATION AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.

23. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND AT THE END OF EACH WORKDAY OR AS NECESSARY.

24. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE. THE STABILIZED CONSTRUCTION ENTRANCE SHALL REMAIN IN PLACE UNTIL THE ROAD BASE ROCK COURSE IS COMPLETED.

25. AS STORM DRAIN IMPROVEMENTS ARE CONSTRUCTED, ALL STRUCTURES AND INLET PIPES SHALL BE PROTECTED FROM INFLOW OR SILT WITH FILTER BAGS OR GRAVEL BAG SILT BARRIERS.

26. ADJACENT PROPERTIES SHALL BE PROTECTED FROM STORM WATERS, MUD, SILT, ETC. ON A DAILY BASIS.

27. DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION. THE CONTRACTOR WHEN HE OR HIS SUBCONTRACTOR ARE OPERATING EQUIPMENT ON- SITE, SHALL PREVENT THE FORMATION OF ANY AIRBORNE NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. ADDITIONAL WATERING SHALL BE PROVIDED ON DRY OR WINDY DAYS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY DUST FROM HIS OWN ACTIVITIES OR HIS SUBCONTRACTORS ACTIVITIES IN PERFORMING THE WORK UNDER THIS CONTRACT AND SHALL BE RESPONSIBLE FOR ANY CITATIONS, FINES, OR CHARGES RESULTING FROM DUST NUISANCE. DUST CONTROL WILL BE DONE ON A DAILY BASIS.

28. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:

A. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED EVERYDAY AND AFTER EACH STORM.

B. SILT FENCES, BERMS AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED. GRAVEL BAGS PLACED AROUND CURB INLETS SHALL BE INSPECTED AND REPLACED IF DAMAGED.

C. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO WITHIN A FOOT OF OUTLET ELEVATION OR TO 1/2 THE HEIGHT OF ANY PERIMETER CONTROL.

D. SEDIMENT REMOVED FROM TRAPS SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. E. SEEDED AREAS WILL BE REPAIRED, RESEEDED AND MULCHED AS SOON AS POSSIBLE AFTER DAMAGED.

29. CONTRACTOR SHALL IMPLEMENT HOUSEKEEPING PRACTICES AS FOLLOWS:

A. SOLID WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR REMOVAL AND DISPOSAL. CLEAR SITE OF TRASH INCLUDING ORGANIC DEBRIS, PACKAGING MATERIALS, SCRAP OR SURPLUS BUILDING MATERIALS AND DOMESTIC WASTE DAILY.

B. MATERIAL DELIVERY AND STORAGE: PROVIDE A DESIGNATED MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT SUCH AS BERMING. STORE MATERIAL ON PALLETS AND PROVIDE COVERING FOR SOLUBLE MATERIALS. RELOCATE STORAGE AREA INTO BUILDING SHELTER WHEN POSSIBLE. INSPECT AREA WEEKLY.

C. CONCRETE WASTE: PROVIDE A DESIGNATED CONCRETE TRUCK WASHOUT BIN. DISPOSE OF HARDENED CONCRETE OFFSITE. AT NO TIME SHALL A CONCRETE TRUCK DUMP ITS WASTE AND LEAVE ITS TRUCK INTO THE CITY STORM DRAINS VIA CURB AND GUTTER. INSPECT DAILY TO CONTROL RUNOFF, AND WEEKLY FOR REMOVAL OF HARDENED CONCRETE.

D. PAINT AND PAINTING SUPPLIES: PROVIDE INSTRUCTION TO EMPLOYEES AND SUBCONTRACTORS REGARDING REDUCTION OF POLLUTANTS INCLUDING MATERIAL STORAGE, USE, AND CLEAN UP. INSPECT SITE WEEKLY FOR EVIDENCE OF IMPROPER DISPOSAL.

E. VEHICLE FUELING, MAINTENANCE AND CLEANING: PROVIDE A DESIGNATED FUELING AREA WITH SECONDARY CONTAINMENT SUCH AS BERMING. DO NOT ALLOW MOBILE FUELING OF EQUIPMENT. PROVIDE EQUIPMENT WITH DRIP PANS. RESTRICT ONSITE MAINTENANCE AND CLEANING OF EQUIPMENT TO A MINIMUM. INSPECT AREA WEEKLY.

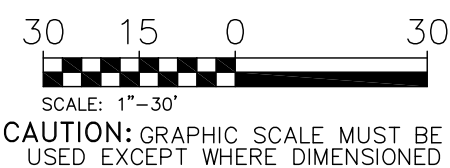
F. PORTABLE TOILETS SHALL BE LOCATED AWAY FROM ALL STORM DRAIN INLETS.

G. GRADING OPERATIONS AND CONSTRUCTION SHALL BECONDUCTED IN A MANNER AND/OR MEASURES TAKEN TO PREVENT SAND, DUST, AND DEBRIS FROM BEING BLOWN ONTO OTHER PROPERTIES. AN ADEQUATE DUST PALLIATIVE SHALL BE USED AT ALL TIMES. AFTER COMPLETION OF GRADING THE DEVELOPER SHALL MAINTAIN THE SITE SUCH THAT SAND, DUST AND DEBRIS DO NOT BLOW ONTO OTHER PROPERTIES.

H. TEMPORARY FENCING SHALL BE ERECTED AS REQUIRED BY CITY STAFF DURING CONSTRUCTION TO PREVENT WINDBLOWN DEBRIS FROM LEAVING THE PROJECT SITE AND TO ENSURE PUBLIC SAFETY.



- (EC-1) INSTALL FILTERBAG IN EXISTING CATCH BASIN DURING CONSTRUCTION.
- (EC-2) INSTALL FIBER ROLLS OR GRAVEL BAGS AROUND AND FILTERBAGS WITHIN DROP INLETS DURING CONSTRUCTION AND INSTALL GRAVEL BAGS AROUND MANHOLES DURING CONSTRUCTION.
- (EC-3) CONSTRUCT FIBER ROLLS ALONG FRONTAGES, ALONG STREETS, OFF BACK OF WALK AND PROPERTY LINES WHERE CROSS-DRAINAGE IS POSSIBLE, AND SURROUNDING ALL STOCKPILED SEDIMENT OR SOIL.
- (EC-4) CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE. MOVE ENTRANCE AS NEEDED TO ALLOW ROOM FOR CONSTRUCTION.
- (EC-5) RENT CONCRETE WASHOUT BIN AND PLACE IN A LOCATION ACCESSIBLY TO CONCRETE TRUCKS.



L = 13